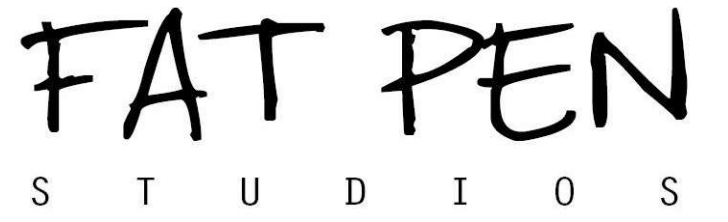


# 379 NEVADA AVENUE RESIDENCE



## GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS ARE AT VARIANCE THEREWITH.
- CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS.
- PROVIDE FIRE BLOCKING AT CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10" MAXIMUM.
- THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM VARIATION OF 3/8 INCH.
- REFER TO TITLE 24 REPORT FOR INSULATION REQUIREMENTS, TYP.
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST EDITION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING.
- INTERIOR WOOD DOORS SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS.
- FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY PEMKO OR EQUIVALENT.
- NEW WINDOWS AND EXTERIOR DOORS SHALL MEET TITLE 24 REQUIREMENTS FOR U-FACTOR & SHGC, AND SHALL PROVIDE (1) PANEL OF TEMPERED GLASS IN EACH UNIT AS REQUIRED BY WUI. DIMENSIONS ARE NOMINAL - VERIFY WITH MFR FOR SPECIFIC R.O. AND MODEL NUMBER.
- ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING.
- GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK," LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST ADOPTED EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING.
- PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER AREAS TO A MINIMUM HEIGHT OF 70 INCHES, AND WALL AND CEILING PANELS IN SHOWER AREAS.
- ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- PAINT AND STAIN COLORS, MOUNTINGS & FLOORING AS WELL AS ELECTRICAL LIGHTING & PLUMBING FIXTURES TRIM SHALL BE SELECTED BY OWNER. REFER TO POLLUTANT CONTROL NOTES FOR COLOR REQUIREMENTS.
- PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT, ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL INTERIOR COLORS SHALL BE AS SELECTED BY THE OWNER, AND EXTERIOR COLORS ARE TO MATCH THE APPROVED SPECIFICATIONS OF THE CDRC. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) COAT PRIMER AND (2) COATS FINISHES DIRECTED BY THE OWNER.
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES.
- KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE OWNER. FINISH SHALL BE POLISHED U.O.N. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A6.1 & A6.2.
- PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTORS SHALL BE POWERED BY BUILDING WIRING WITH BATTERY BACK-UP.
- PROVIDE CARBON MONOXIDE DETECTORS AS SHOWN ON ELECTRICAL PLAN, E.1.
- INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A6.1 & A6.2.
- A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO WITH ANY QUESTIONS.
- WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL EXTERIOR WALL CLADDINGS. PROVIDE 4 IN. HORIZONTAL LAPS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCEALMENT.
- SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
- SAF1 = 40-MIL WCOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING.
- SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST.
- SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET.
- WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS.
- PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT FINIS. LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL JOINTS, OVER WEEP SCREWS, AND UNDER SHEET METAL FLASHINGS.
- PER CRC SECTION 913.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER. A SIGN OF VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1.
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3.
- RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS WITH CEMENT SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

## PERSPECTIVE



## PROJECT DATA

APN: 037-135-170  
 ZONING: R1/S-17/DR/CD  
 APPLICABLE CODES: 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA FIRE CODE  
 ALL OTHER STATE AND LOCAL ORDINANCES, REGULATIONS & REACH CODES ADOPTED BY SAN MATEO COUNTY.

CONSTRUCTION TYPE: VB  
 OCCUPANCY: R-3 (MAIN RESIDENCE) / U-1 (GARAGE)  
 LOT AREA: 5,000 SF

MAX PARCEL COVERAGE (35%): 1,750 SF  
 PROPOSED BUILDING COVERAGE: 1,578.2 SF

MAX FAR (53%): 2,650 SF  
 PROPOSED FAR: 2,648.9 SF

FRONT SETBACK: 20'-0"  
 REAR SETBACK: 20'-0"  
 SIDE SETBACK: 10'-0"  
 STREET SIDE SETBACK: 12'-0"  
 MAX. HEIGHT: 28'-0"  
 DAYLIGHT PLANE OR FACADE ARTICULATIONS: THIS PROJECT CONFORMS TO THE FACADE ARTICULATION OPTION.

PROJECT SCOPE: NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH 2 CAR GARAGE. MINIMAL GRADING IS PROPOSED, NATURAL LANDSCAPING TO REMAIN, AND NO TREES ARE PROPOSED FOR REMOVAL.

FIRE SPRINKLERS: AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE REQUIREMENTS OF NFPA 13-D. PLANS AND CALCULATIONS SHALL BE A DEFERRED, SEPARATE PERMIT SUBMITTAL.

## SYMBOLS & LEGEND

	NEW CONSTRUCTION		DUPLEX WALL OUTLET, 15" A.F.F. (U.O.N.)		CEILING MOUNTED FIXTURE - DECORATIVE
	DEMOLITION		OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER		DECORATIVE LOW VOLTAGE PENDANT - TBD
	EXISTING TO REMAIN		OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER & WEATHER PROOF FOR OUTDOOR LOCATIONS		RECESSED WALL WASHER FIXTURE
	DOOR TAG		SINGLE WALL SWITCH, 48" A.F.F. (U.O.N.)		RECESSED FLUORESCENT FIXTURE
	WINDOW TAG		WALL SWITCH W/DIMMER, 48" A.F.F. (U.O.N.)		RECESSED LED CAN FIXTURE
	MEDICINE CABINET		CAT 5		RECESSED LED CAN FIXTURE, WET LOCATION
	50 CFM MIN. EXHAUST FAN		COAX CABLE		UNDERCABINET LED LIGHT
	SMOKE DETECTOR/CARBON MONOXIDE DETECTOR		FLOOR RECEPTACLE		WALL MOUNTED LIGHT FIXTURE
					EXTERIOR WALL MOUNTED LIGHT FIXTURE

## CONSTRUCTION HOURS

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 8:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

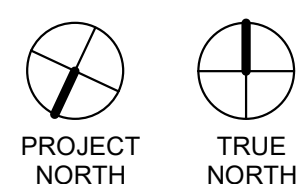
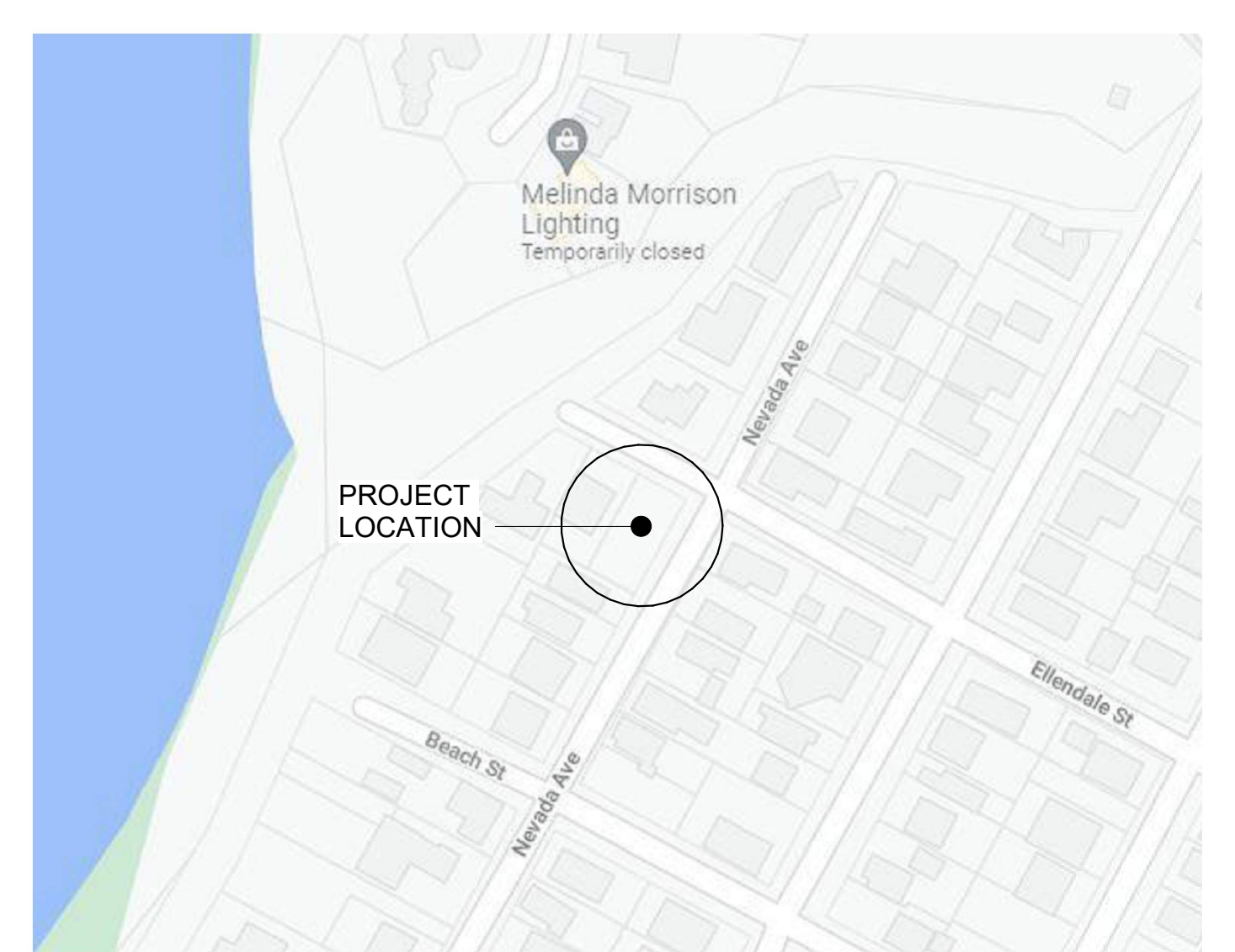
## ANNOTATIONS

@	AT	HORIZ	HORIZONTAL
C	CENTERLINE	HT	HEIGHT
#	POUND OR NUMBER	HVAC	HEATING, VENTILATING
A.B.	ANCHOR BOLT	INSUL	AIR CONDITIONING
A.D.	AREA DRAIN	INSUL	INSULATION
ADJ	ADJUSTABLE	MAX	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MECH	MECHANICAL
AFCI	ARC FAULT CIRCUIT INTERRUPT	MEMB	MEMBRANE
ALUM	ALUMINUM	MET/MTL	METAL
ANOD	ANODIZED	MFR	MANUFACTURER
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	M.O.	MASONRY OPENING
BD	BOARD	MULL	MULLION
BLDG	BUILDING	(N)	NEW
CEM	CEMENT	N.T.S.	NOT TO SCALE
CLR	CLEAR	O/	OVER
CONC	CONCRETE	O.C.	ON CENTER
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CTR	CENTER	PT	PAINT
DBL	DOUBLE	REINF	REINFORCED
DEMO	DEMOLISH	REF	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	RM	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
EXT	EXTERIOR	SIM	SIMILAR
(E)EXIST	EXISTING	SPEC	SPECIFICATION
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATOR OR ELEVATION	STL	STEEL
EQ	EQUAL	STRUCT	STRUCTURAL
EQ	EXTERIOR	S.S.	SANITARY SEWER
F.A.R.	FLOOR AREA RATIO	S.S.D.	SEE STRUCTURAL DRAWINGS
F.B.O.	FURNISHED BY OWNER/OTHER	SYM	SYMMETRICAL
FIN	FINISH	T	TREAD
FL	FLOOR	TEMP	TEMPERED
FLOOR	FLORESCENT	T.O.S.	TOP OF SLAB
F.O.C.	FACE OF CONCRETE	T.W.	TOP OF WALL
F.O.F.	FACE OF FINISH	TYP	TYPICAL
F.O.S.	FACE OF STUD	U.O.N.	UNLESS OTHERWISE NOTED
FT	FOOT OR FEET	V.I.F.	VERIFY IN FIELD
GA	GAUGE	W/	WITH/WASHER
GALV	GALVANIZED	WOOD	WOOD
GFI	GROUND FAULT INTERRUPTER	W/O	WITHOUT
GSM	GALVANIZED SHEET METAL	WP	WATERPROOF
GYP	GYPSUM	W.R.	WATER RESISTANT
H.C.	HOLLOW CORE	WRB	WEATHER-RESISTANT BARRIER
HDWD	HARDWOOD	W.S.	WEAR STRIP
		W.W.F.	WELED WIRE FABRIC

## SHEET INDEX

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C-2		EROSION CONTROL PLAN
ARCHITECTURE		
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A2.3		ROOF PLAN
A3.0		EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A4.0		BUILDING SECTIONS

## VICINITY MAP



## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 522 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 482 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

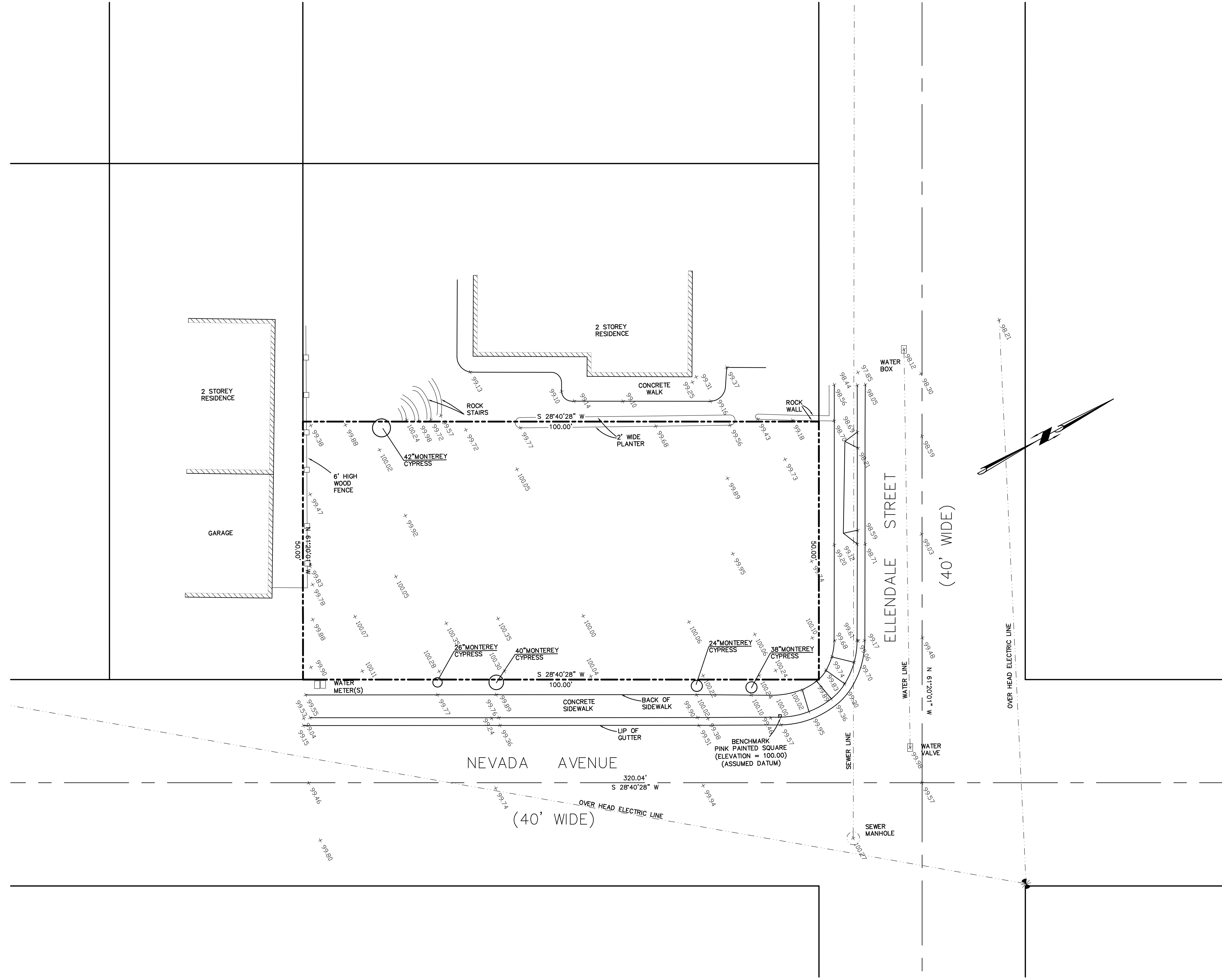
REVISIONS		
NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: As indicated  
 ISSUE STATUS: CDRC APPLICATION

PROJECT DATA,  
 GENERAL NOTES,  
 SYMBOLS & LEGEND,  
 VICINITY MAP

**A0.0**





**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JULY 2014 AND UPDATED MARCH 2021. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN. EASEMENTS MAY EXIST IN THE TITLE REPORT...

*Savior P. Micallef*  
 SAVOR P. MICALLEF  
 LAND SURVEYOR, L.S. 8289  
 (805) 709-2423

03-15-21  
 DATE

SAVIOR P. MICALLEF LAND SURVEYING  
 421 WILDWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF  
 APN 037-135-170  
 (UNINCORPORATED SAN MATEO COUNTY, CALIFORNIA)

Revisions	
No.	Description

Date: 03-15-21  
 Scale: 1"=10'  
 Design: SPM  
 Drawn: SPM  
 Approved: SPM  
 Job No.:



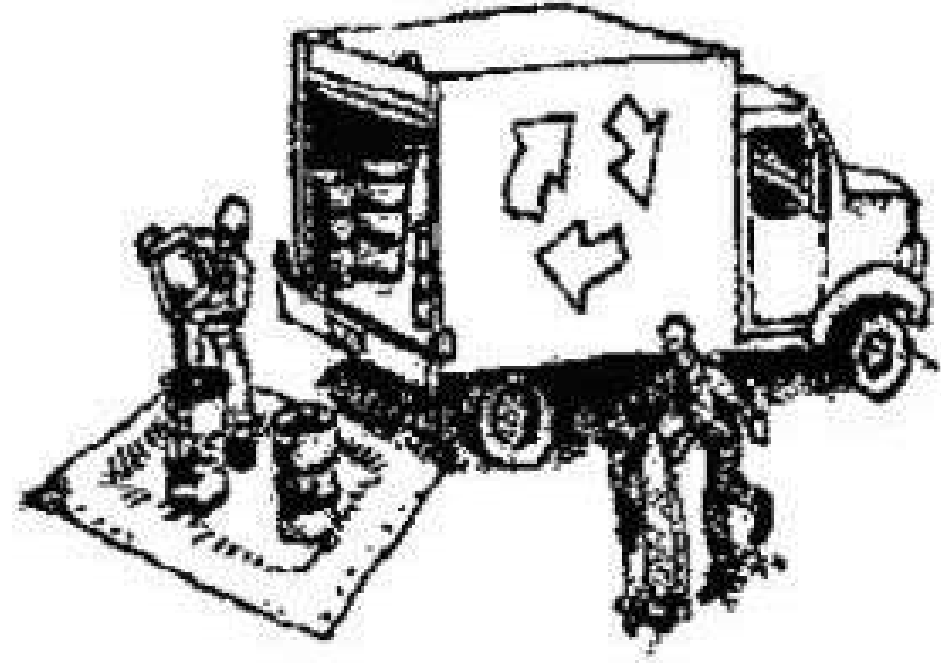
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



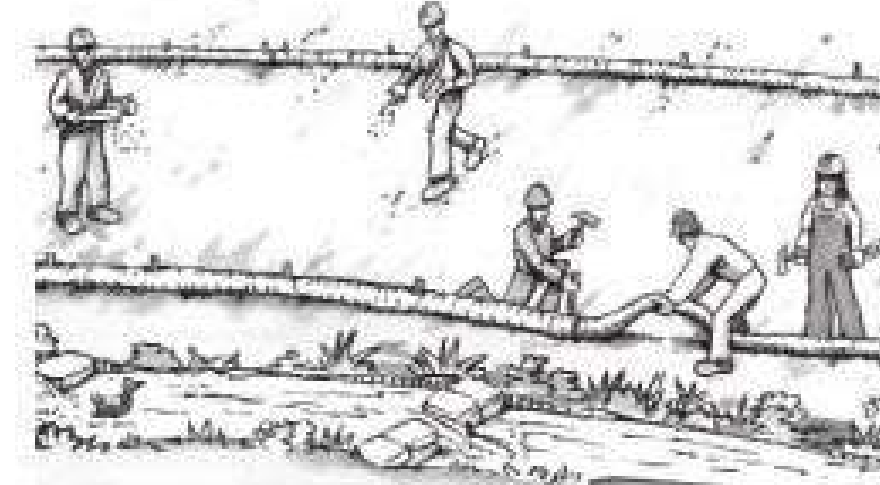
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



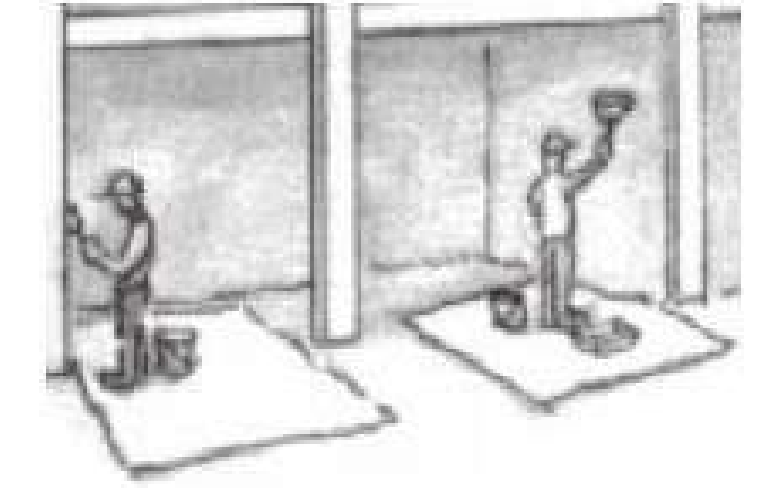
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

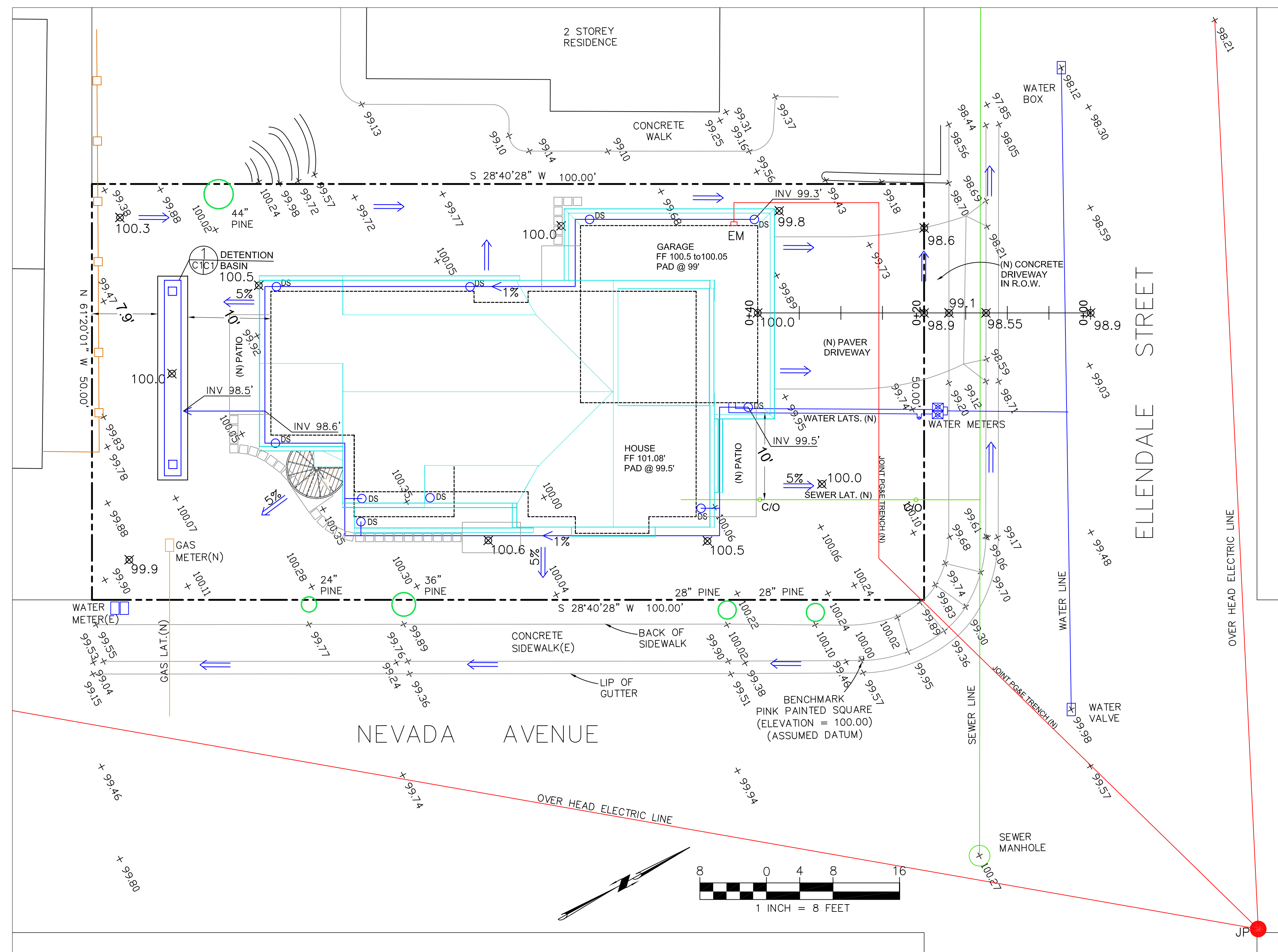
## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**





**LEGEND**

- x 99.92 EXISTING SPOT ELEVATION
- x 99.9 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF: JAYA KAMATH, OWNER
2. TOPOGRAPHY BY S. MICALLEF, SURVEYED MARCH 15, 2021.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: BABUKAMATH PROPERTY, ELLENDALE STREET MOSS BEACH, APN 037-135-170**. DATE: 9-25-22. BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 21-196 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

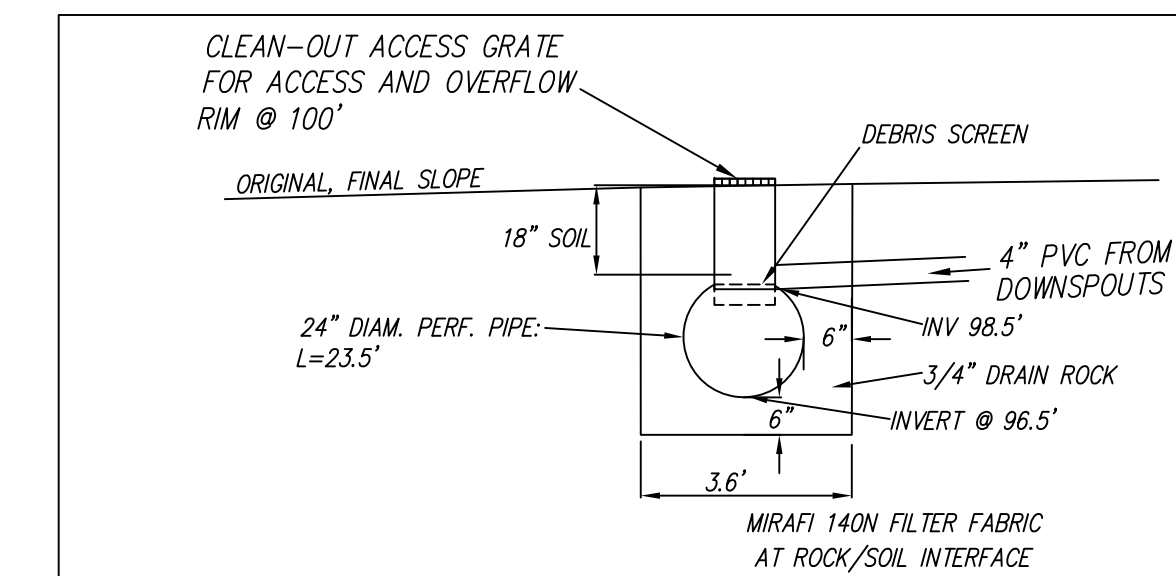
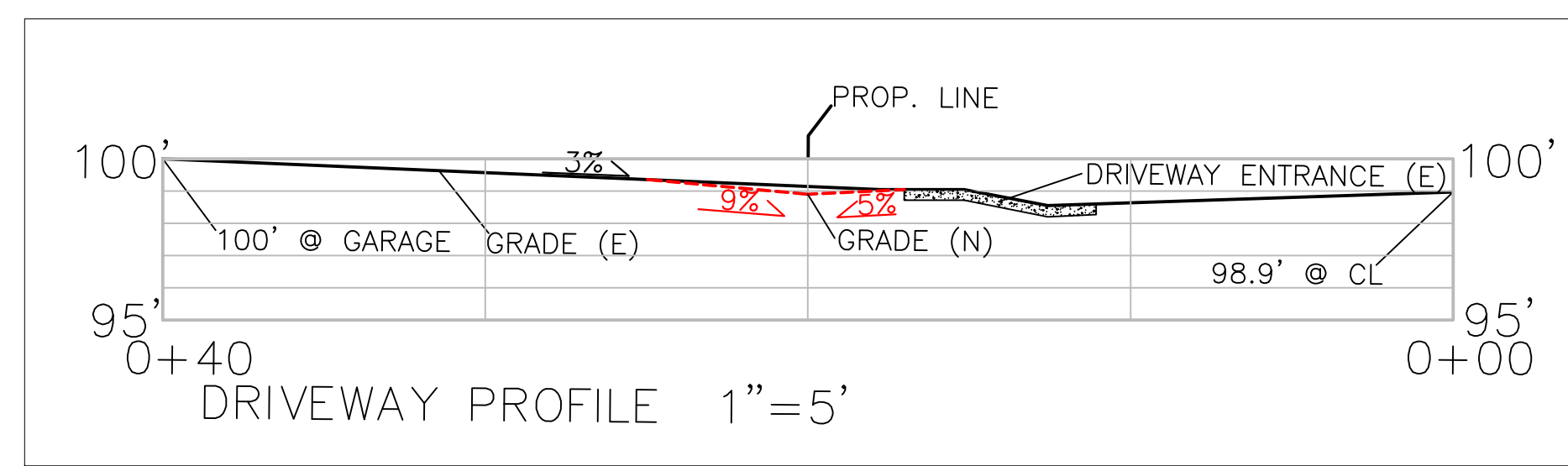
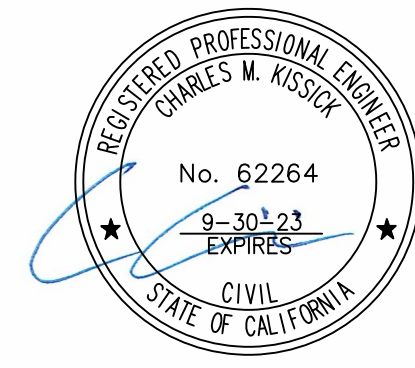
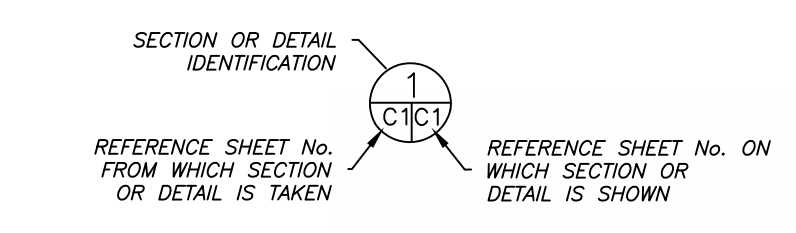
**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN AND ENERGY DISSIPATORS TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

- CUT VOLUME : 40 CY (FOR SLAB FOUNDATION)  
 FILL VOLUME: 30 CY (TO CREATE POSITIVE DRAINAGE)
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**SECTION AND DETAIL CONVENTION**



DESIGN BASIS: 10-YEAR STORM EVENT WITH 60 MINUTE DURATION ON HARD SURFACES.  
 RAINFALL INTENSITY = 0.846 IN/HR

**1** DETENTION SYSTEM  
 NOT TO SCALE

DATE: 11-2-21	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 4-2-22	REV. DATE:	REV. DATE:
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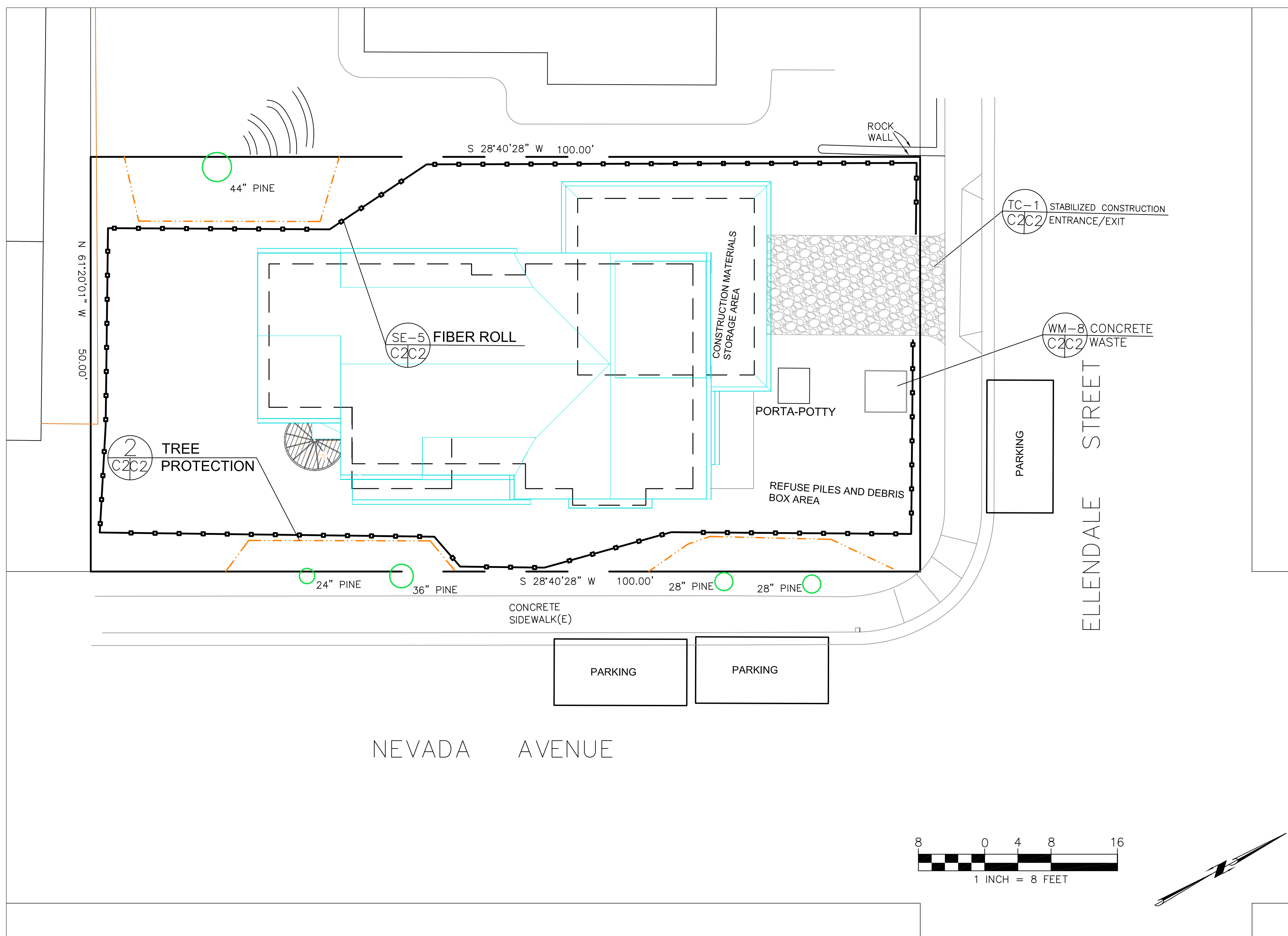
**GRADING AND DRAINAGE PLAN**

**Sigma Prime Geosciences, Inc.**

SIGMA PRIME GEOSCIENCES, INC.  
 332 FLORENCE AVENUE  
 MOSS BEACH, CA 94019  
 (650) 728-3590  
 FAX 728-3593

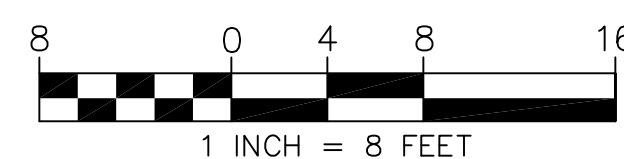
**KAMATH PROPERTY**  
 379 NEVADA AVENUE  
 MOSS BEACH  
 APN 037-135-170





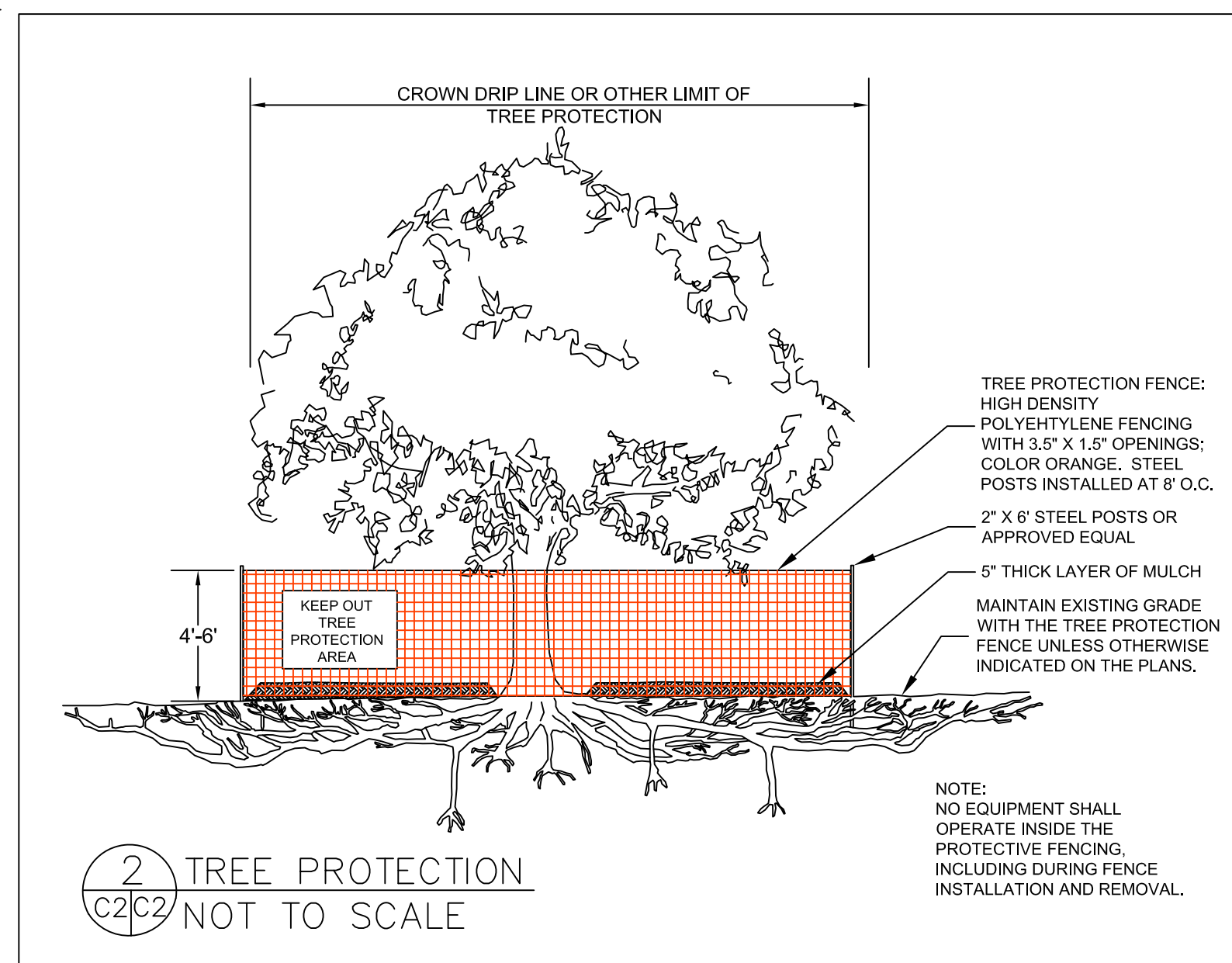
NEVADA AVENUE

ELLENDALE STREET

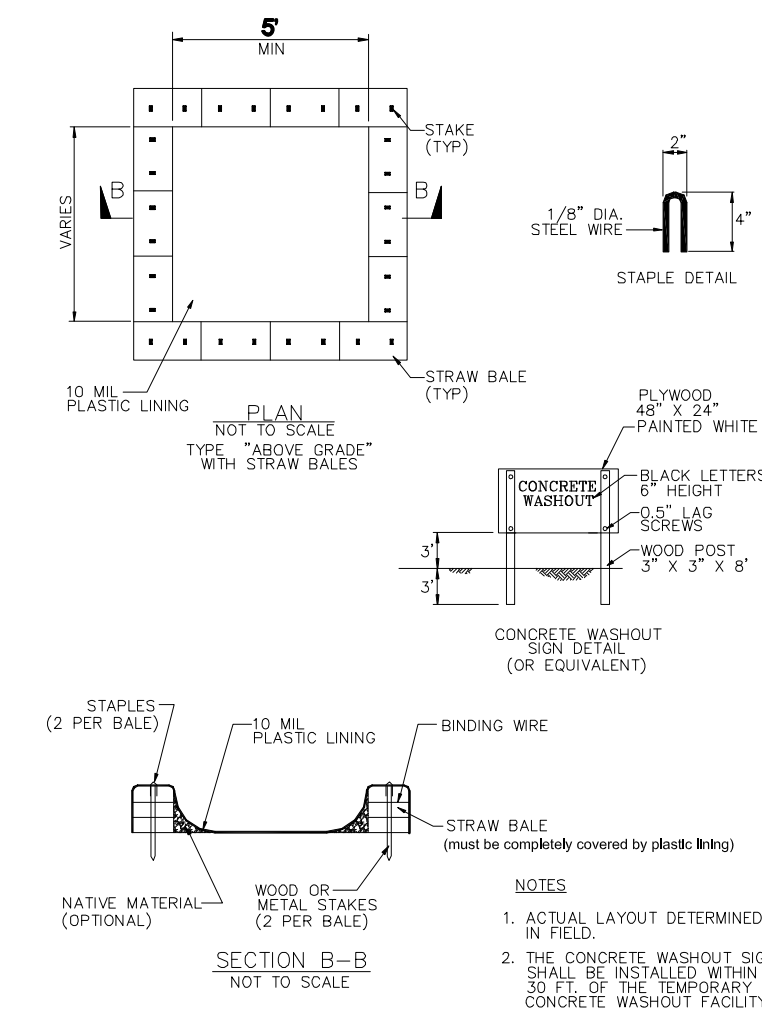


**TREE PROTECTION NOTES**

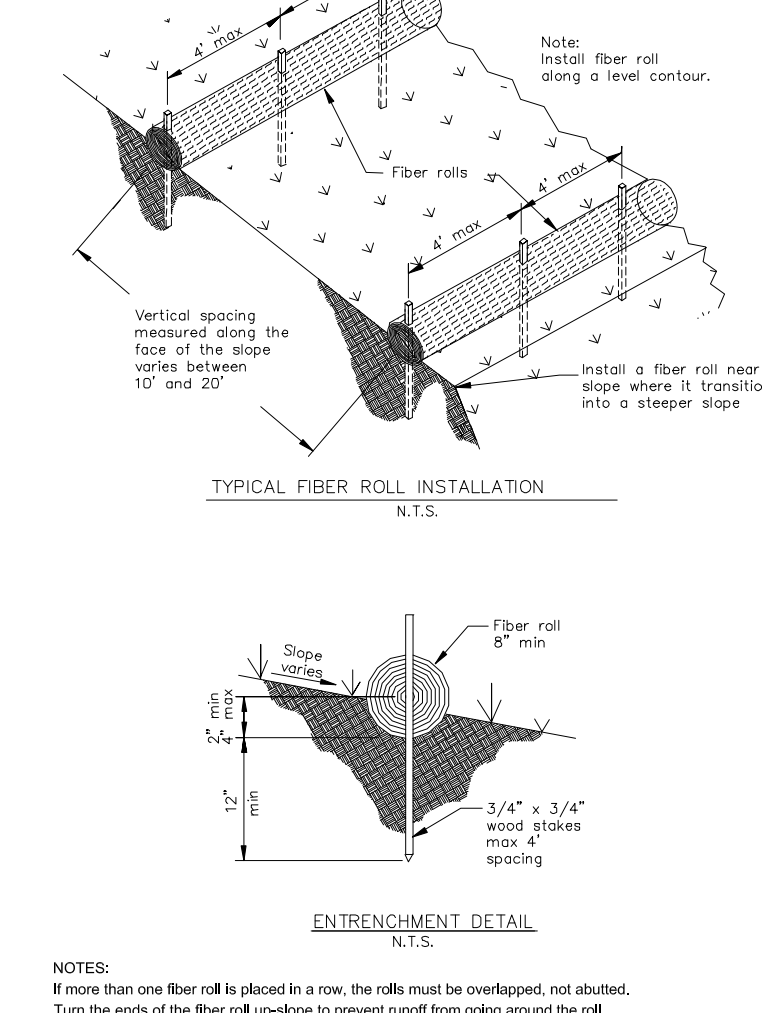
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



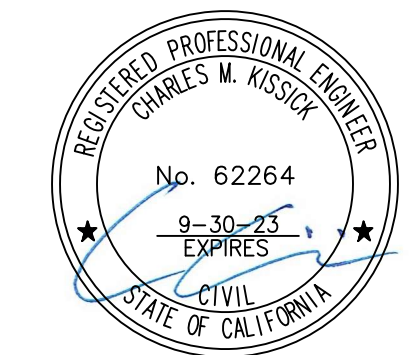
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

**EROSION CONTROL POINT OF CONTACT**

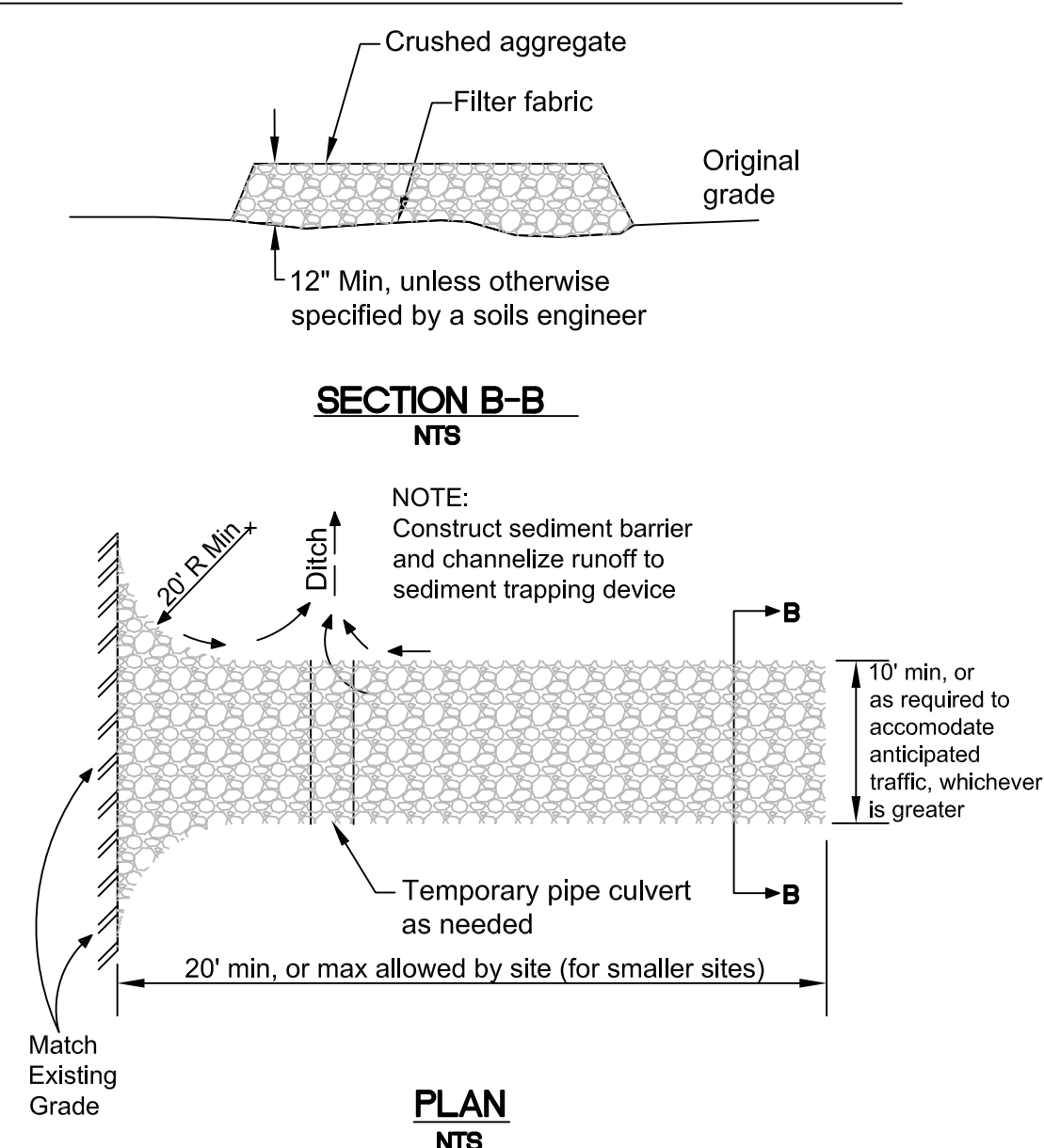
THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: KATIE KOSTIUK  
 TITLE/QUALIFICATION: ARCHITECT  
 PHONE: 650-918-7117  
 E-MAIL: KATIE@FATPEN STUDIOS.COM



**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3580  
 FAX 728-3593

**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



DATE: 11-3-21  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: 4-5-22  
 REV. DATE:  
 REV. DATE:

**EROSION AND SEDIMENT CONTROL PLAN**  
 KAMATH PROPERTY  
 379 NEVADA AVENUE  
 MOSS BEACH  
 APN 037-135-170

**SHEET C-2**



# TREE PROTECTION GUIDELINES

FOR FULL TREE PROTECTION INFORMATION, REFER TO ARBORIST REPORT PREPARED BY MAGUIRE TREE CARE, INC. ALL INFORMATION CONTAINED BELOW IS CAPTURED FROM THIS REPORT AND IS NOT TO BE CONSTRUED AS THE FULL REPORT.

ANY CONSTRUCTION ACTIVITY NEAR AND AROUND THE BASES OF THESE TREES HAS THE POTENTIAL TO DISRUPT THE HEALTH AND STRUCTURAL STABILITY OF THEM, SO IT'S IMPORTANT TO IMPLEMENT THE FOLLOWING GUIDELINES IN ORDER TO SUCCESSFULLY COMPLETE THE PROJECT WITH LITTLE TO NO IMPACT TO THE EXISTING TREES.

**PRUNING:**  
PRIOR TO ANY PROJECT WORK BEING DONE, NEEDED PRUNING SHOULD BE DONE BY AN ISA CERTIFIED ARBORIST USING ANSI A300 PRUNING STANDARDS TO PERFORM BRANCH AND LIMB REMOVAL, END WEIGHT REDUCTION PRUNING AND ANY LIFTING OF LOWER LIMBS TO GIVE THE REQUIRED AIRSPACE FROM THE PROJECT.

**FENCING AND TREE PROTECTION ZONE (TPZ):**  
TEMPORARY FENCING SHOULD BE PLACED IN 3 SPOTS, ALL IN A SEMICIRCULAR PATTERN, ONE FOR TREES ONE AND TWO, ANOTHER FOR TREE THREE, AND THE LAST FOR TREE 4. THE USE OF ORANGE PLASTIC FENCING CAN BE UTILIZED, WITH TEMPORARY POSTS TO HOLD IT IN PLACE. WITHIN THIS AREA NO SUBSTANCES, MATERIALS, TOOLS, SUPPLIES, LIQUIDS, WASTES, ETC. ARE TO BE DUMPED OR STORED, EVEN TEMPORARILY. THIS AREA IS TO BE NAMED THE TPZ ZONE. UNDER NO CIRCUMSTANCES SHOULD ANYTHING BE RINSED OR CLEANED OUT WITHIN THIS AREA.

**SIGNAGE:**  
TREE PROTECTION SIGNAGE MUST BE PLACED ALONG THE TEMPORARY FENCE ONCE EVERY 25'. THE SIGNAGE SHOULD BE WATERPROOF AND STATING THE AREA IS THE TREE PROTECTION ZONE AND THAT NO ENTRY IS ALLOWED.

## TREE PROTECTION ZONE FENCE

**NO ENTRY INSIDE THIS FENCE. DO NOT MOVE OR REMOVE WITHOUT AUTHORIZATION**

No tools, equipment or supplies shall be stored inside this fence

No dumping or rinsing out of any tools or machinery inside this fence

Contact project Arborist for any questions

**SOIL COMPACTION:**  
IN AREAS WHERE THERE WILL BE HIGH TRAFFIC (WITHIN THE DRIP LINE OF THE TREES), A 3" LAYER OF COURSE WOOD CHIP MULCH SHOULD BE LAID OVER THE SOIL TO PREVENT DAMAGE AND COMPACTION IN THE AREA. IF ITS IN A REALLY HIGH TRAFFIC AREA, PLYWOOD CAN ALSO BE LAID OVER THE WOOD CHIPS TO FURTHER PROTECT FROM HEAVY FOOT TRAFFIC. THE MULCH COMBINED WITH THE PLYWOOD WILL OFFER THE MOST PROTECTION FROM COMPACTIONING THE SOIL.

**WATERING:**  
DEPENDING ON WHEN THE WORK TAKES PLACE AND WHAT KIND OF WORK WILL BE DONE WITHIN THE TPZ, IT MAY BE BENEFICIAL TO WATER THE TREES DEEPLY PRIOR TO WORK TAKING PLACE. FOR EXAMPLE, IF ROOTS ARE GOING TO BE INTERRUPTED, EVEN LIGHT ROOT PRUNING, I WOULD RECOMMEND DEEPLY WATERING THE TREES AT LEAST 2 WEEKS BEFORE ANY IMPACTION WOULD TAKE PLACE. THE BEST METHOD FOR DELIVERING WATER WOULD BE USING SOAKER HOSES. APPROXIMATELY 150' OF SOAKER HOSE WOULD BE LAID UNDER THE DRIP LINE OF EACH TREE AND TURNED ON AND ALLOWED TO RUN FOR 8-10 HOURS.

**ROOT PRUNING:**  
IN THE EVENT THAT ANY ROOTS ARE ENCOUNTERED, CUTS THAT EXCEED ANYTHING GREATER THAN 2" IN DIAMETER SHOULD BE BROUGHT TO THE ATTENTION TO THE PROJECT ARBORIST TO INSURE THAT THE ROOTS ARE PROPERLY CUT. THE ROOTS SHOULD BE CUT VERY CLEANLY, WITH THE USE OF SHARP HAND SAWS OR SAWZALL BLADES. THE ROOTS SHOULD UNDER NO CIRCUMSTANCES BE RIPPED UP FROM THE SOIL USING HEAVY EQUIPMENT OR LARGER HAND TOOLS. IF ANY CUT ENDS OF ROOTS ARE EXPOSED, THEY SHOULD BE COVERED UP TO PREVENT DRYING OUT. METHODS USED FOR THIS WOULD BE TO DRAPE MULTIPLE LAYERS OF BURLAP OVER THE CUT ENDS AND THEN WETTING DOWN THE MATERIAL TO KEEP THE ROOTS MOIST. BACKFILLING SHOULD BE DONE AS SOON AS POSSIBLE. ALL BACKFILLING SHOULD BE DONE WITH PARENT SOIL AND NOT COMPACTED WHEN PUT BACK INTO PLACE.

**TRENCHING:**  
AREAS THAT WILL NEED BE TRENCHED FOR FOUNDATION OR UTILITIES UNDER THE DRIP LINES OF THE TREES SHOULD BE PERFORMED WITH HAND TOOLS AND NOT MECHANICAL TOOLS. USING HAND TOOLS WILL ALLOW FOR ROOTS TO BE DISCOVERED WITHOUT FURTHER DAMAGE. ONCE ROOTS ARE LOCATED, THEY CAN THEN BE CUT CLEANLY.

**JOINT TRENCH NOTED AT THE CORNER NEAR TREE #1 CAN BE SUCCESSFULLY DONE BY HAND DIGGING, OR USE OF AN AIRSPADE TO REMOVE THE SOIL FOR THE TRENCH. THIS METHOD WOULD ALLOW FOR ROOT DISCOVERY, AND THEN THOSE ROOTS CAN BE KEPT INTACT WHILE TRENCH IS OPEN. ALL ROOTS WITHIN THE TPZ WILL BE REQUIRED TO BE WRAPPED WITH MULTIPLE LAYERS OF BURLAP, WHICH SHOULD BE WETTED DOWN A FEW TIMES DURING THE DAY TO PREVENT DRYING OUT. THE TRENCH SHOULD BE BACKILLED AS SOON AS POSSIBLE. IF ANY ROOTS OVER 2" IN DIAMETER NEED TO BE CUT, THE PROJECT ARBORIST SHOULD BE ONSITE TO INSPECT.**

**TRUNK BUFFER:**  
TRUNK BUFFERS ACT AS SECONDARY "REDUNDANT" TREE PROTECTION FOR THE ABOVE-GROUND LOWER TRUNK AREAS. IN THE CASE THAT THE TEMPORARY FENCING IS TEMPORARILY REMOVED FOR ANY REASON, THE TRUNK BUFFER IS DESIGNED TO PREVENT OR MITIGATE MOST PHYSICAL IMPACTS TO TRUNK BARK BY MACHINERY TRAVEL IN CLOSE PROXIMITY TO TREES. THIS CAN ALSO BE APPLIED TO LOW HANGING LIMBS THAT COULD POTENTIALLY BE HIT BY HEAVY EQUIPMENT. METHODS FOR WRAPPING THE TRUNK CONSIST OF USING 2X4 MATERIAL AND WRAPPED TO THE TREE ON ALL SIDES WITH ORANGE PLASTIC FENCING.

# SITE PLAN NOTES

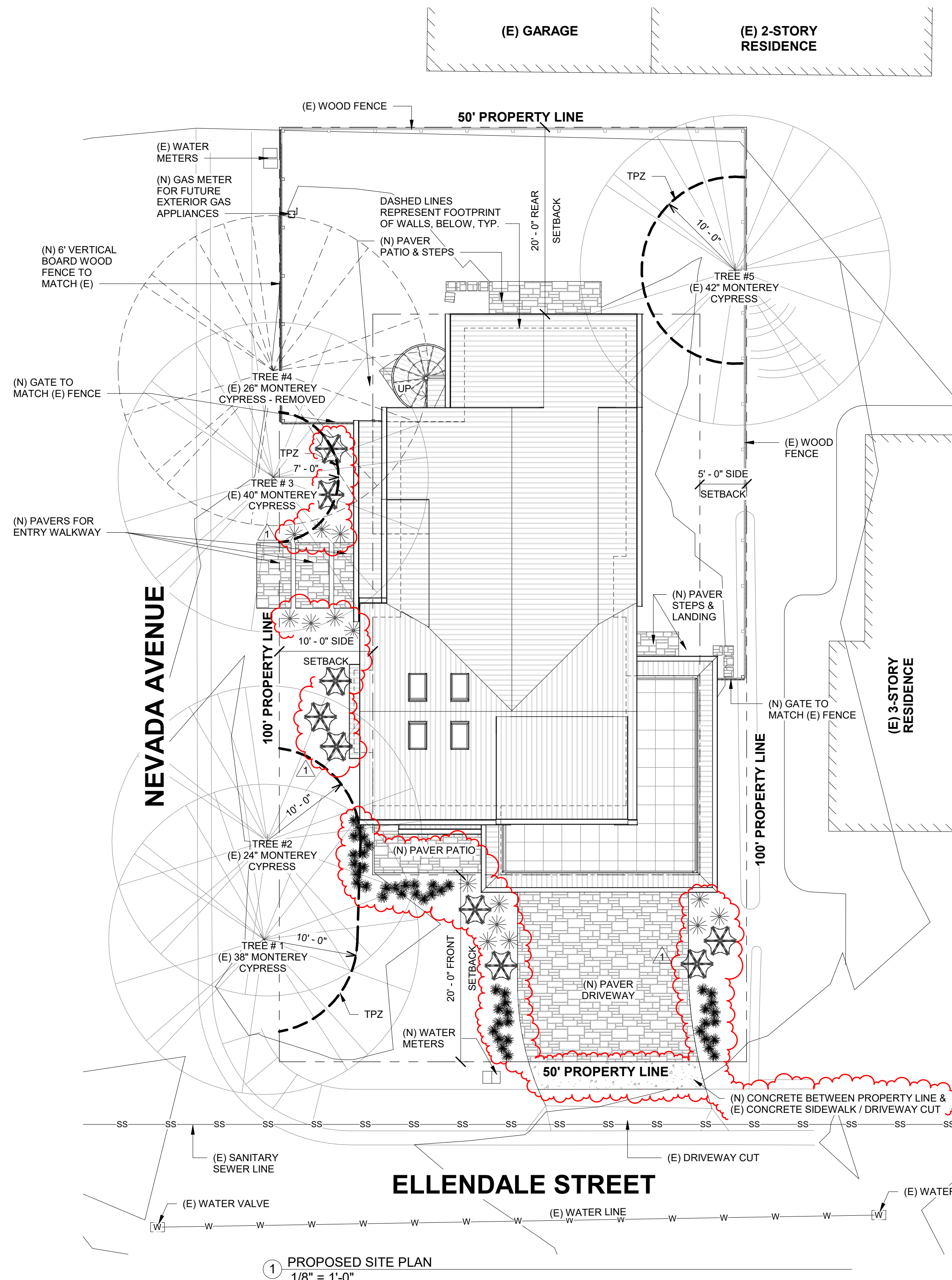
- REFER TO ROOF PLAN FOR ROOF SLOPES & DOWNSPOUT LOCATIONS, TYP.
- REFER TO CIVIL SHEETS FOR SURVEY AND TOPOGRAPHIC INFORMATION, TYP.
- REFER TO CIVIL SHEETS FOR GRADING, DRAINAGE AND FINISHED GRADE ELEVATION INFORMATION, TYP.
- REFER TO CIVIL FOR HARDSCAPE DESIGN AND MATERIALS INCLUDING DRIVEWAY, SIDEWALKS, CONCRETE PATIONS AND SITE STEPS, TYP.
- REFER TO CIVIL FOR UTILITY INFORMATION, TYP.
- REFER TO ARBORIST REPORT FOR TREE PROTECTION DETAILS.

# PLANT LEGEND

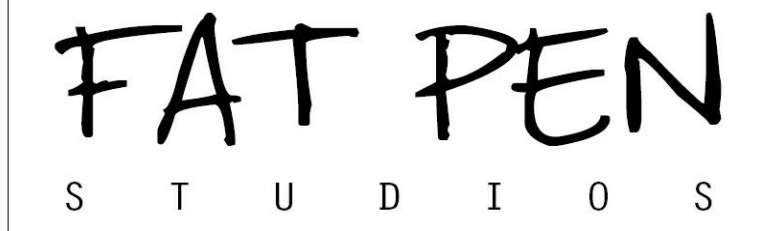
- ANIGOZANTHOS "BUSH RANGER" 12" - 24" WIDE 12" - 24" TALL
- "ROYAL VELVET" ENGLISH LAVENDER 24" - 36" TALL, 24" SPREAD
- "LEMON CORAL" SEDUM 3" - 10" TALL, 10" - 14" SPREAD

# LANDSCAPE NOTES

- A MINIMUM THREE INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS, WHERE MULCH IS CONTRA INDICATED.
- MINIMUM 75% OF PLANTINGS SHALL HAVE A WUCOLS PLANT FACTOR OF 0.3
- AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST SUPPLY THE OWNER WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE & IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY THE SOILS TEST, COMPOST AT A RATE OF MIN. 4 CUBIC YARDS PER 1,000 S.F. OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- ALL PLANTS TO BE HAND WATERED.



1 PROPOSED SITE PLAN  
1/8" = 1'-0"



## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
620 AVENUE PORTOLA #522  
EL GRANADA, CA 94018  
650-918-7117  
info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
482 CUESTA DRIVE  
LOS ALTOS, CA 94024  
408-368-7527  
jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
332 PRINCETON AVE  
HALF MOON BAY, CA 94019  
(650) 728-3590  
sigmaprm@gmail.com

## REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
ISSUE DATE: 11/10/2021  
SCALE: 1/8" = 1'-0"  
ISSUE STATUS:

CDRC APPLICATION

PROPOSED SITE PLAN,  
TREE PROTECTION  
NOTES, LANDSCAPE  
SCHEDULE

**A1.0**



## PROJECT DIRECTORY

**ARCHITECT**  
**FAT PEN STUDIOS, INC.**  
 620 AVENUE PORTOLA #522  
 EL GRANADA, CA 94018  
 650-918-7117  
 info@fatpenstudios.com

**OWNER**  
**SURESH BABU & JAYA KAMATH**  
 462 CUESTA DRIVE  
 LOS ALTOS, CA 94024  
 408-368-7527  
 jaya.kamath@icloud.com

**CIVIL / GEOTECHNICAL ENGINEER**  
**SIGMA PRIME GEOSCIENCES, INC.**  
 332 PRINCETON AVE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 sigmaprm@gmail.com



**379 NEVADA AVENUE RESIDENCE**  
 379 NEVADA AVENUE,  
 MOSS BEACH CA 94038

## REVISIONS

NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/8" = 1'-0"  
 ISSUE STATUS:

**CDRC APPLICATION**

**AREA PLANS, AREA LEGEND, AREA SCHEDULE**

# A1.2

## AREA SCHEDULE - FAR

NAME	AREA	DIMENSIONS	COMMENTS
<b>FIRST FLOOR</b>			
A1	167.7 SF	16' - 9 1/4" x 10' - 0"	
A2	292.8 SF	20' - 6 7/8" x 14' - 2 3/4"	
A3	123.3 SF	20' - 11" x 5' - 10 3/4"	
A4	52.6 SF	7' - 10 3/8" x 6' - 8 1/4"	
A5	163.5 SF	26' - 5 5/8" x 6' - 2 1/8"	
A6	445.4 SF	21' - 1 1/4" x 21' - 1 1/4"	
A7	186.4 SF	13' - 5 7/8" x 13' - 9 7/8"	
A8	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
<b>1448.5 SF</b>			

## SECOND FLOOR

A9	167.7 SF	16' - 9 1/4" x 10' - 0"	
A11	335.5 SF	23' - 6 7/8" x 14' - 2 3/4"	
A12	72.6 SF	10' - 10 3/8" x 6' - 8 1/4"	
A13	78.4 SF	11' - 8 5/8" x 6' - 8 1/4"	
A14	529.5 SF	26' - 5 5/8" x 20' - 0"	
A15	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
<b>1200.4 SF</b>			
<b>TOTAL FAR: 2648.9 SF</b>			

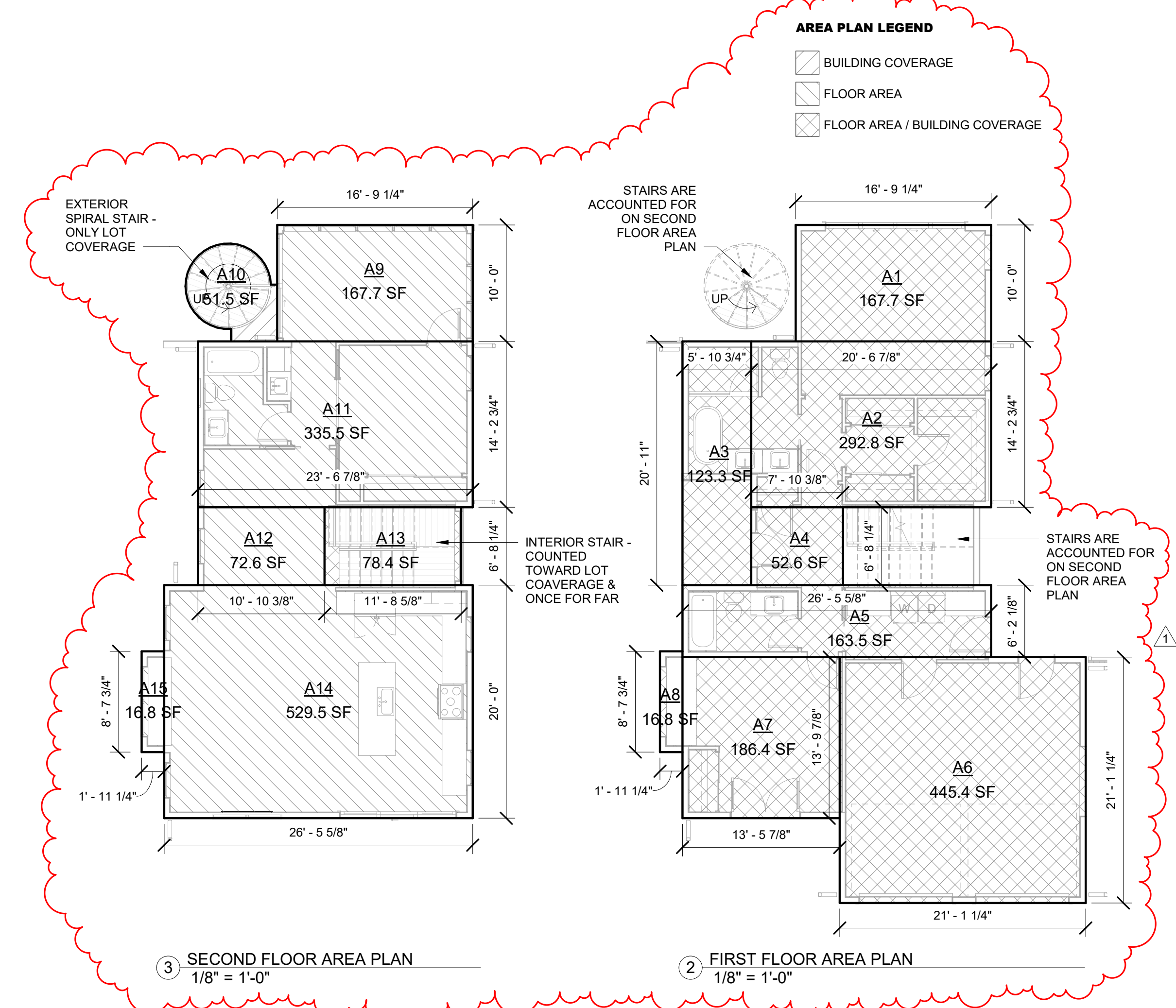
## AREA SCHEDULE - PARCEL COVERAGE

NAME	AREA	DIMENSIONS	COMMENTS
<b>FIRST FLOOR</b>			
A1	167.7 SF	16' - 9 1/4" x 10' - 0"	
A2	292.8 SF	20' - 6 7/8" x 14' - 2 3/4"	
A3	123.3 SF	20' - 11" x 5' - 10 3/4"	
A4	52.6 SF	7' - 10 3/8" x 6' - 8 1/4"	
A5	163.5 SF	26' - 5 5/8" x 6' - 2 1/8"	
A6	445.4 SF	21' - 1 1/4" x 21' - 1 1/4"	
A7	186.4 SF	13' - 5 7/8" x 13' - 9 7/8"	
A8	16.8 SF	1' - 11 1/4" x 8' - 7 3/4"	
<b>1448.5 SF</b>			

## SECOND FLOOR

A13	78.4 SF	11' - 8 5/8" x 6' - 8 1/4"	
<b>78.4 SF</b>			

**TOTAL FAR: 1526.9 SF**



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**379 NEVADA AVENUE RESIDENCE**  
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## REVISIONS

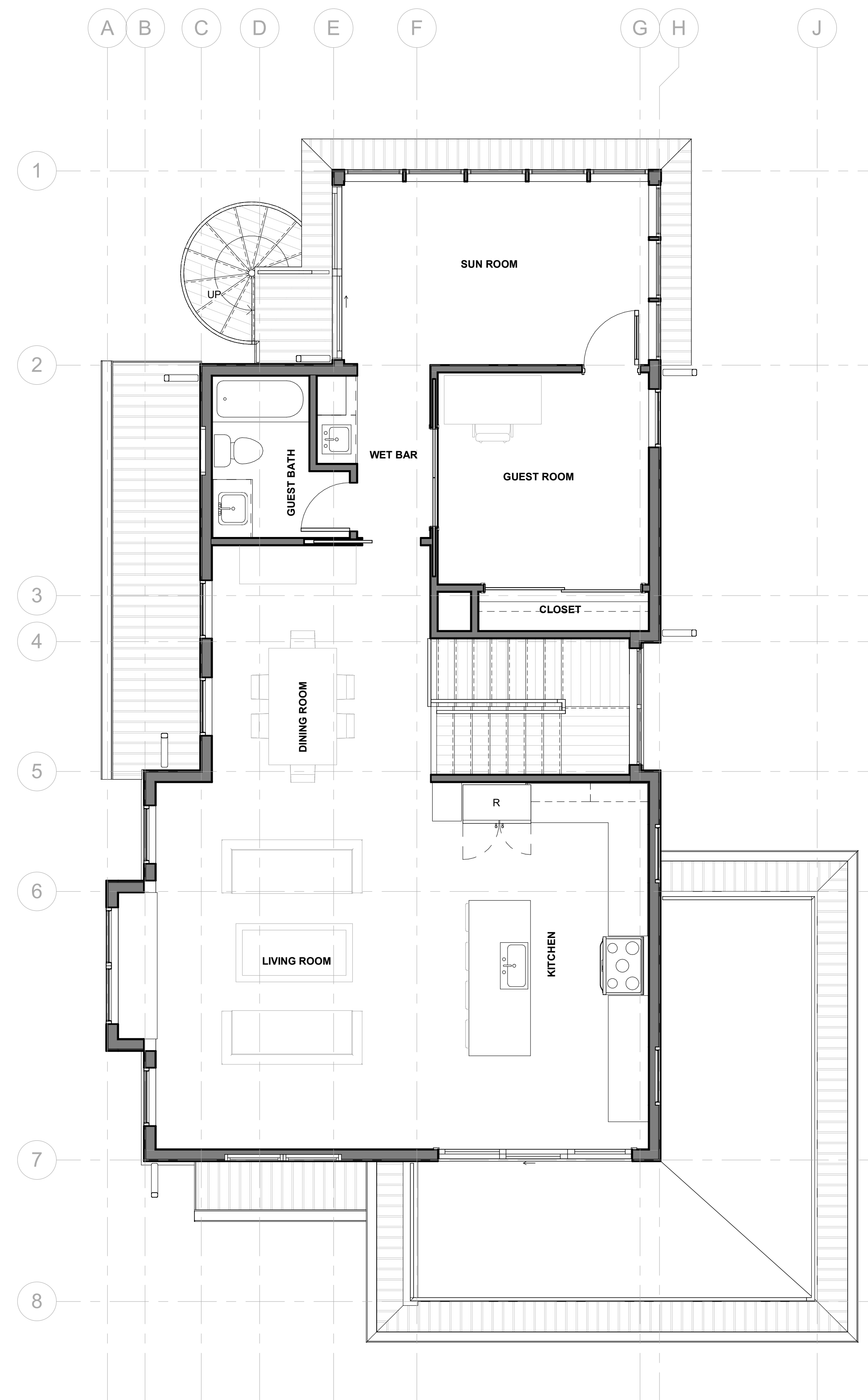
NO.	DESCRIPTION	DATE
1	RESPONSE TO CDRC PCC	2/25/2022

PROJECT NUMBER: 21104  
 ISSUE DATE: 11/10/2021  
 SCALE: 1/4" = 1'-0"  
 ISSUE STATUS:

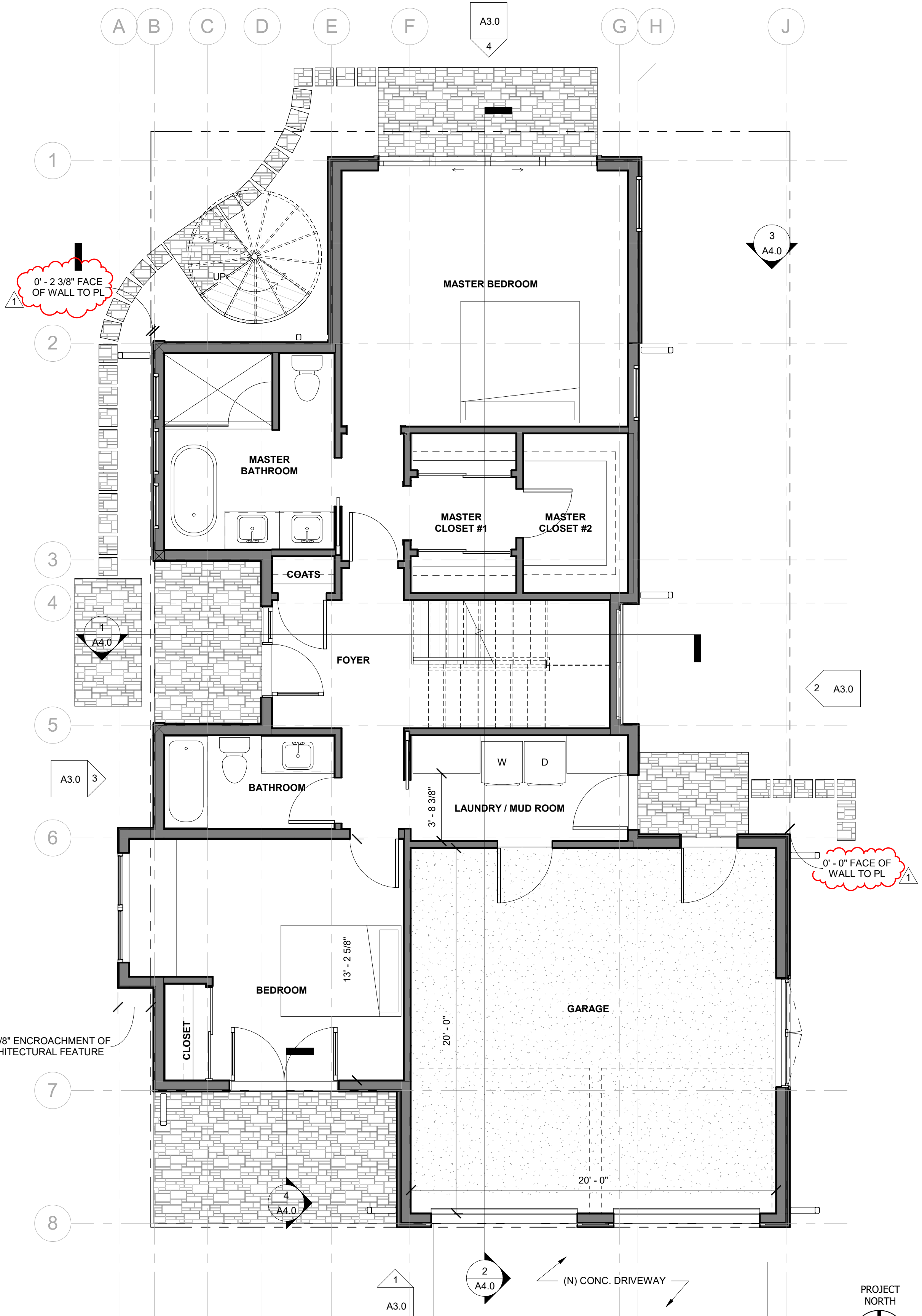
CDRC APPLICATION

FIRST FLOOR PLAN,  
 SECOND FLOOR PLAN

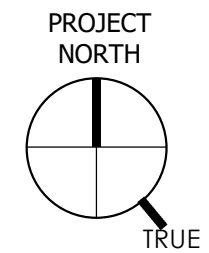
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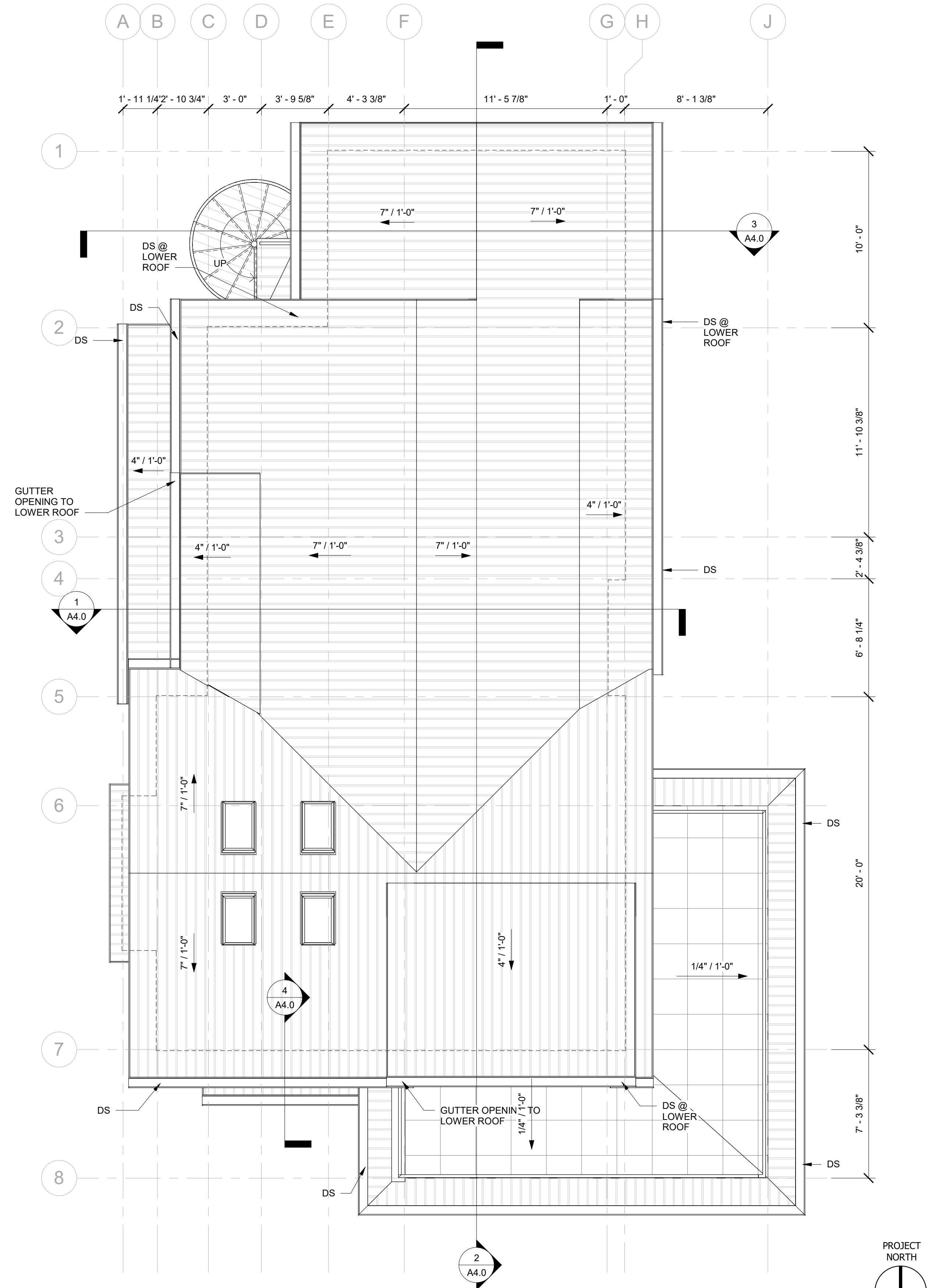
2 SECOND FLOOR PLAN  
 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
 1/4" = 1'-0"







1 PROPOSED ROOF PLAN  
1/4" = 1'-0"

### ROOF & GUTTER NOTES

1. REFER TO CIVIL FOR DRAINAGE TIE-IN.
2. REFER TO EXTERIOR ELEVATIONS FOR MATERIAL SPECIFICATION.
3. REFER TO DETAILS FOR ROOF ASSEMBLY AND EAVE DETAILS.
4. REFER TO STRUCTURAL FOR SHEATHING AND FRAMING SIZING AND SPACING.
5. REFER TO T24 FOR INSULATION REQUIREMENTS.
6. GUTTERS AND DOWNSPOUTS TO BE HEAVY GAUGE BONDERIZED, GALVANIZED METAL WITH SOLDERED JOINTS. REFER TO EXTERIOR ELEVATIONS FOR COLOR SPECIFICATIONS.
7. PER CRC SECTION R905.2.8.5, PROVIDE DRIP EDGE AT GUTTERS AND RAKE EDGES, TYP.
8. PROVIDE DOUBLE UNDERLAYMENT APPLICATION PER CRC SECTION R905.2.2 APPLIED IN COMPLIANCE WITH CRC SECTION R905.2.7 FOR ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12, TYP.
9. PER CRC SECTION R905.2.8.5, PROVIDE DRIP EDGE AT GUTTERS AND RAKE EDGES, TYP.
10. PROVIDE DOUBLE UNDERLAYMENT APPLICATION PER CRC SECTION R905.2.2 APPLIED IN COMPLIANCE WITH CRC SECTION R905.2.7 FOR ROOF SLOPES BETWEEN 2:12 TO LESS THAN 4:12, TYP.
11. ALL ROOF INSULATION SHALL COMPLY WITH R806.5(5.1.1) FOR AIR-IMPERMEABLE INSULATION NOTED AS SPRAY FOAM INSULATION.
  - OPEN CELL INSULATION SPECIFIED IS BAYSEAL OC SPRAY-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-1655, OR EQUIVALENT, TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - CLOSED CELL INSULATION SPECIFIED IS BAYSEAL CC SPRAY-APPLIED POLYURETHANE INSULATION PER ICC REPORT NO. ESR-2072, OR EQUIVALENT, TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
12. IF OWNER/CONTRACTOR SHOULD MODIFY THE INSULATION SPECIFICATION THEN THE FOLLOWING APPLIED AND OWNER/CONTRACTOR SHALL SUBMIT REVISED ROOF SHEET WITH VENTILATION CALCULATIONS:
  - VENTING SHALL COMPLY WITH CBC SECTION 1203.2.
  - UPPER AND LOWER ROOFS OVER CONDITIONED SPACE MUST COMPLY WITH VENTING REQUIREMENTS.
  - PROVIDE EQUAL NUMBER OF SQ. IN. OF VENTILATION AT SOFFIT/EAVE AND AT RIDGE. IF EQUAL NUMBER OF SQ. IN. IS NOT POSSIBLE, A RATIO OF 1 SQ. IN. OF VENTILATION PER 300 SF OF ENCLOSED ATTIC MUST BE MET WITH EAVE/SOFFIT VENTS.
  - PROVIDE ATTIC VENTILATION CALCULATIONS FOR REQUIRED SQ. IN. OF VENTILATION, IF REQUIRED.
  - CONTRACTOR TO PROVIDE SPECIFICATION AND QUANTITY OF VENTS THAT COMPLY WITH THE VENTILATION CALCULATIONS.
  - PROVIDE MIN. 1/2" AIR GAP ABOVE INSULATION FOR AIR VENTILATION PER CBC.



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ROOF PLAN

**A2.3**



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**EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS**

# A3.0



**EXTERIOR SCONCES:** 10" GOODYEAR LED BARN LIGHT W/TRADITIONAL ARM. MATTE BLACK (DARK SKY COMPLIANT) OR SIMILAR. PENDANT LIGHT AT ENTRY TO MATCH SCONCE.



**STANDING SEAM METAL ROOF, WINDOWS & DOORS, RAILING POSTS & INFILL:** MORIN SW/L ROOF SERIES. COLOR: BRISTOL BLACK (SRI:25) OR SIMILAR. WINDOWS, DOORS, SPIRAL STAIRS, & RAILINGS PAINTED TO MATCH.



**STONE VENEER:** ELDORADO STONE ROUGH CUT. COLOR: LOIRE VALLEY OR SIMILAR



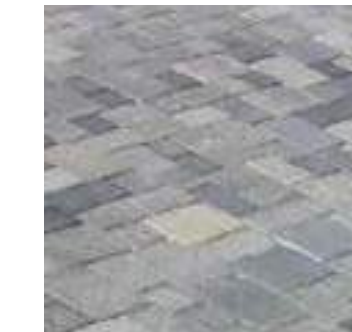
**WOOD BEAM/POSTS AT ENTRY:** WOOD SPECIES TBD & MEDIUM STAIN. TO COORDINATE WITH GARAGE DOORS & WOOD FENCE.



**HORIZONTAL LAP SIDING:** HARDI PLANK LAP SIDING. COLOR: EVENING BLUE OR SIMILAR



**BOARD & BATTEN VERTICAL SIDING:** HARDI PANEL VERTICAL SMOOTH SIDING. COLOR: COBBLE STONE OR SIMILAR

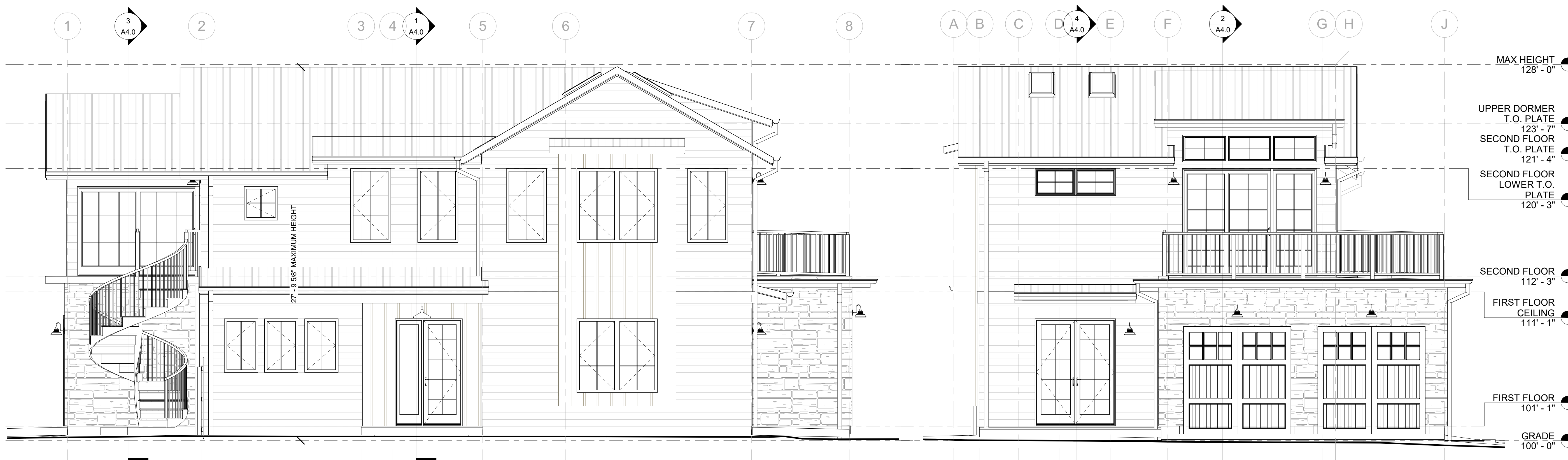


**PERVIOUS PAVER PATIOS & DRIVEWAY:** CASTLEITE CARRAGE STONE PAVERS. COLOR: SHASTA BLEND OR SIMILAR



2 NORTH ELEVATION  
 1/4" = 1'-0"

4 WEST ELEVATION  
 1/4" = 1'-0"



3 SOUTH (NEVADA) ELEVATION  
 1/4" = 1'-0"

1 EAST (ELLEENDALE) ELEVATION  
 1/4" = 1'-0"



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BUILDING SECTIONS

# A4.0

