

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: May 23, 2018

TO: Planning Commission

FROM: Planning Staff

SUBJECT: EXECUTIVE SUMMARY: Consideration of the certification of an Initial Study and Mitigated Negative Declaration, an Architectural Review, and a Significant Tree Removal Permit, to allow construction of a new 2,498 sq. ft. single-family residence on a legal 17,772 sq. ft. parcel on Skyline Boulevard. The project requires the removal of 10 trees greater than 12 inches in diameter. The property is located within the Skyline Boulevard State Scenic Corridor.

County File Number: PLN 2016-00363 (Cerini)

PROPOSAL

The applicant proposes to construct a new 2,498 sq. ft. single-family residence with an attached two-car garage, on a legal 17,772 sq. ft.-acre parcel located on Skyline Boulevard, near Redwood Terrace Road, within the Skyline Boulevard State Scenic Corridor. The project includes the removal of 10 trees greater than 12 inches in diameter at breast height (dbh), 20 cubic yards (c.y.) of grading, and a new septic system. The site will be served by the California Water Service – Bear Gulch District. Access to the site will be via an existing gravel driveway partially located on the subject property and 13704 Skyline Boulevard (property to the left) which serves both properties. The project requires access easements over the shared driveway. The width of the existing driveway will need to be expanded by 10 feet to accommodate parking and fire truck access.

RECOMMENDATION

That the Planning Commission certify the Initial Study and Mitigated Negative Declaration and approve the Architectural Review and Significant Tree Removal Permit, County File Number PLN 2016-00363, by adopting the required findings and conditions of approval listed in Attachment A of the staff report.

SUMMARY

The subject parcel is located in a single-family, residential Zoning District (R-1/S-10), and is located along Skyline Boulevard, a State Scenic Corridor. The proposed

single-family residence requires Architectural Review, as the residence would be visible from the Skyline Scenic Corridor, and a Significant Tree Removal Permit for the removal of 10 significant trees.

An Initial Study with a Mitigated Negative Declaration (IS/MND) was prepared for the project, in which the project was erroneously described as removing 12, not 10, significant trees. This correction reduces the overall impact of the project and does not require the revision or recirculation of the IS/MND. There was also a small discrepancy in the square footage of the new residence, which was referenced as 2,496 square feet. The staff report clarifies that the proposed residence is 2,498 sq. ft. This discrepancy does not impact staff analysis or project compliance, and therefore does not require IS/MND revision or recirculation.

Mitigation Measures of the IS/MND address view impacts, tree removal, and tree protection and to minimize the environmental impacts of construction such that the project's impact is less than significant.

Architectural Review

The State Streets and Highways Code requires building designs to represent "quietness, repose, and unobtrusiveness" and "blend with the natural terrain rather than detracting from it."

The proposed single-family dwelling preserves the existing natural qualities of the parcel from public views from Skyline Boulevard by retaining as many mature trees as possible, being one-story, using colors and materials which blend with the existing surroundings, sharing an access driveway, and minimizing grading.

The proposed residence will observe a 66-foot front yard setback, where 50 feet is required. The house will be single-story, use brown siding to blend with the natural environment, and no reflective materials are proposed. Only two trees located in the front setback are proposed to be removed. Several mature trees will remain for project screening.

Access to the parcel will be via an existing, shared driveway. A ten-foot expansion of the driveway is needed for firetruck access; however, the proposed grading (20 c.y.) is minimized. The proposal septic system will be placed in the front yard and has been determined to be an adequate size and design. All new utilities will be placed underground.

Significant Tree Removal

The trees proposed to be removed are in the footprints of the proposed house, driveway or utilities. An arborist has surveyed trees on the site and provided tree protection measures for the remaining significant trees which have been incorporated as mitigation measures. In addition, five (5) replacement trees shall be planted after consultation with

an arborist to enhance screening of the new structure from Skyline Boulevard, as much as possible. The new trees shall be native and drought tolerant.

The request to remove 10 significant trees is consistent with the County's Significant Tree Removal regulations. The proposed tree removal meets the following criteria: (1) trees are too closely located to existing or proposed structures; (2) removal is necessary to allow reasonable economic or other enjoyment of the property; and (3) trees will be replaced by plantings approved by the Community Development Director.

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**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: May 23, 2018

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of an Initial Study and Mitigated Negative Declaration, pursuant to the California Environmental Quality Act, an Architectural Review, pursuant to the State of California Streets and Highways Code, and a Significant Tree Removal Permit, pursuant to Section 12.023 of the Significant Tree Ordinance, to allow construction of a new 2,498 sq. ft. single-family residence on a legal 17,772 sq. ft. parcel on Skyline Boulevard. The project requires the removal of 10 trees greater than 12 inches in diameter. The property is located within the Skyline Boulevard State Scenic Corridor.

County File Number: PLN 2016-00363 (Cerini)

PROPOSAL

The applicant proposes to construct a new 2,498 sq. ft. single-family residence with an attached two-car garage, on a legal 17,772 sq. ft.-acre parcel located on Skyline Boulevard, near Redwood Terrace Road, within the Skyline Boulevard State Scenic Corridor. The project also includes the removal of 10 trees greater than 12 inches in diameter at breast height (dbh), 20 cubic yards (c.y.) of grading, and a new septic system. The site will be served by the California Water Service – Bear Gulch District. Access to the site will be via an existing gravel driveway partially located on the subject property and the adjoining property at 13704 Skyline Boulevard. The project requires access easements over the shared driveway. The width of the existing driveway will need to be expanded by 10 feet to accommodate parking and fire truck access.

RECOMMENDATION

That the Planning Commission adopt the Initial Study and Mitigated Negative Declaration and approve the Architectural Review and Significant Tree Removal Permit, County File Number PLN 2016-00363, by adopting the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Erica Adams, Project Planner, 650/363-1828

Applicant/Owner: Kevin Cerini

Location: 13700 Skyline Boulevard, Unincorporated Woodside

APN: 067-080-100

Size: 17,772 sq. ft.

Existing Zoning: R-1/S-10 (Single-Family Residential/ 20,000 Minimum Lot Size)

General Plan Designation: Low Density Residential (0.3-2.3 d.u./net acre); Rural

Sphere-of-Influence: None

Existing Land Use: Vacant

Water Supply: California Water Supply (Cal Water) – Bear Gulch. Cal Water has confirmed that a connection is available to serve the project.

Sewage Disposal: Applicant proposes a new septic system. Plans for the system have been reviewed and conditionally approved by the Environmental Health Division.

Flood Zone: X – Areas of Minimal Flooding, Panel 06081C0280E, dated October 16, 2012.

Environmental Evaluation: An Initial Study and Mitigated Negative Declaration (IS/MND) were prepared for this project and released with a public review period from April 14, 2018 to May 14, 2018.

Correspondence from the California Department of Transportation (Caltrans) was received on May 11, 2018 (Attachment G). In the letter, Caltrans mistakenly states that the referral to the California Historical Resources Information System (CHRIS) did not occur. The (CHRIS) referral occurred May 8, 2017 and is referenced in Section 5 of the IS/MND.

Setting: The subject parcel is vacant, located on the west side of Skyline Boulevard, and within Skyline Boulevard State Scenic Corridor. This portion of Skyline Boulevard is heavily wooded along the roadside with residential development behind trees. Mature trees line both sides of the road and create the scenic nature of the roadway.

Adjoining parcels to the left and right sides and to the rear have been developed with existing single-family residences. The property on the east side of Skyline Boulevard, opposite the property, is undeveloped woodlands and is part federal lands, and Huddart County Park.

Chronology:

<u>Date</u>	<u>Action</u>
August 26, 2016	- Application submitted. Missing details, such as site plan details, floor area details, easement information, trees to be removed, and other details, were identified.
November 9, 2016	- Project Planner and applicant meet to review outstanding items, agency comments, and required changes.
January 9, 2017	- Information on the access easement over the subject property was submitted on plans.
March 9, 2017	- Arborist report submitted in response to staff's request for preparation of the Initial Study and Mitigated Negative Declaration (IS/MND).
August 10, 2017	- Ten-foot access easement recorded on subject parcel.
December 18, 2017	- Arborist report updated to address location of new septic system was submitted.
January 22, 2018	- Project deemed complete.
April 14, 2018	- IS/MND is submitted to the State Clearinghouse, posted with County Clerk, and posted on Planning and Building Department's website. The 30-day public review period begins.
May 14, 2018	- IS/MND comment period ends.
May 23, 2018	- Planning Commission Hearing

DISCUSSION

A. KEY ISSUES

1. Compliance with the General Plan

The subject parcel is designated Low Density Residential (0.3-2.3 d.u./net acre) and Rural by the General Plan. The key policies applicable to the project are found in Chapter 4: Visual Quality, and Chapter 11: Wastewater.

Chapter 4 - Visual Quality

Table 4.6 in the General Plan identifies Skyline Boulevard, State Route No. 35 (from State Route No. 92 to Santa Clara County), as a State Scenic Road. The project's adherence to County regulations, mitigation measures of the IS/MND, and the conditions of approval which have been placed on the proposed development will enhance good design, site relationships, and aesthetic considerations.

Applicable policies include Architectural Design Standards for Rural Scenic Corridors (Policies 4.48 - 4.52). These policies address scale, lot coverage, colors and materials and height. The proposed residence is single-story and 22 feet in height, which does not exceed the height of the forest canopy.

The proposed residence has lot coverage of 15% of the parcel size which is less than the maximum of 25% set by R-1/S-10 Zoning District. The proposed residence will have brown siding which is intended to blend with or complement the surrounding natural environment, and not dominate or overpower the site. No reflective materials are proposed.

Additional policies are found in the Rural Site Planning for Scenic Corridors (Policies 4.56 - 4.66). These policies address setbacks, tree removal, views, outdoor lighting, access driveways and undergrounding of utility distribution lines.

The project must observe a front yard setback of 50 feet, as required for Skyline Boulevard by the State of California Streets and Highways Code. As shown in site plan in Attachment C, the proposed dwelling will be 66 feet from the front property line, complying with Policy 4.56. This location minimizes views of the new residence from Skyline Boulevard and minimizes any light and glare impacts. As proposed and mitigated (Mitigation Measure 7), all exterior lighting on the house will be either shielded or directed downward to minimize glare and light on adjacent properties and the roadway. (Policy 4.60).

Policy 4.58 allows tree removal when it complies with regulations, but prohibits the removal of more than 50% of the tree coverage. Based on an arborist report dated June 12, 2017, by Leon Dolezal, Dolezal Tree Surgery, Inc., ten of 30 trees (30%) are being removed with this proposal. Many of the trees located in the front setback would remain, with only two (2) significant trees proposed to be removed within this area. The proposed tree removal is limited to only the number necessary to accommodate the proposed development. The proposed tree removal is consistent with the Significant Tree Removal as discussed in Section 4 of this report.

Existing, mature trees would screen the new residence. Tree protection, such as installation of protection fencing and inspection of tree roots prior to cutting, has been recommended by the applicant's arborist, Leon Dolezal. Implementation of the tree protection measures are required by Mitigation Measures 1 through 4. These measures will be implemented throughout all construction stages to protect trees located near construction activities. Per Mitigation Measure 5, five (5) replacement trees of a native species would be planted, as advised by an arborist, in locations to enhance screening from Skyline Boulevard. (Policy 4.29 and 4.30)

Per Condition No. 11, all new distribution lines shall be placed underground (Policy 4.31)

Policy 4.61 requires limiting the number of access roads along the scenic corridor. The new residence would take access from an existing, shared driveway. There is a 10-foot wide driveway expansion required to accommodate fire access and for parking on parcel. The proposed grading is minimal, and estimated to be 20 c.y., where 25 c.y. is allowed without a grading permit within the scenic corridor. There is no harsh cutting or terracing proposed on the site.

Chapter 11 - Wastewater Policies

General Plan wastewater policies require that development have adequate wastewater management facilities (Policy 11.1) and that facilities be appropriate capacity for the level of development proposed (Policy 11.2).

The proposed residence will require an individual sewage disposal system. The proposed system has been designed by a registered environmental health specialist and the plans were reviewed by the County's Environmental Health Division. The location, size and design have been approved as suitable for the proposed development. Table 9.1P of the General Plan states that septic systems can be accommodated on parcels in Low Density Residential designation.

The proposed location of the septic field will be among the root system of existing mature trees on the property. Arborist Leon Dolezal, of Dolezal Tree Surgery, Inc., has evaluated the trees on the site and has determined that trenching near tree roots will not impact the tree's health with the implementation of tree protection measures as included in Mitigation Measures 1 through 4.

2. Compliance with Zoning Regulations

The project is located in the R-1/S-10 Single-Family Residential Zoning District. The project's degree of compliance with the development

standards of the zoning district, as required by Sections 6300, is detailed in the table below:

Development Standards	Zoning Requirements	Proposal
Building Site Area	20,000 sq. ft.	17,772.5 sq. ft. (0.408 acres) 16,168 net sq. ft. (1,343 sq. ft., easement omitted)*
Building Site Frontage	75 ft.	98.47 ft.
Minimum Setbacks		
Front	50 ft. (for Scenic Road)	66 ft.
Rear	20 ft.	63.5 ft.
Left Side	10 ft.	18.6 ft. (from access easement)
Right Side	10 ft.	10 ft.
Lot Coverage	25%	15.4% or 2,498 sq. ft.
Maximum Building Floor Area	- N/A -	2,498 sq. ft.
Maximum Building Height	36 ft.	22 ft.
Minimum Parking	2 covered	2 covered
* The parcel was legalized with a Certificate of Compliance (PLN 2015-00553) which allows development on the non-conforming parcel.		

3. Compliance with Standards for Architectural and Site Control (Skyline)

The California Streets and Highways Code requires that building designs represent “quietness, repose, and unobtrusiveness” and “blend with the natural terrain rather than detracting from it.”

As discussed in Section 1 of this report, Visual Quality, the proposed single-family residence design complies with these design directives. Impacts to public views from Skyline Boulevard would be protected through structure location and design. The proposed structure is single-story and will be painted colors which blend with the natural environment. The majority of the mature trees would remain on site and only two trees would be removed from within the front setback. No above ground structures will be placed in the 50-foot front yard area. The structure would be screened from the roadway by existing mature trees and required replacement trees.

4. Compliance with Significant Tree Ordinance

There are 10 trees greater than 12 inches in diameter at breast height (dbh) proposed to be removed to accommodate the proposed residence. Removal of two trees in the front setback is required to accommodate the septic system. Three of the trees to be removed are within the footprint of

the house, and five trees are to be removed to accommodate the driveway and propane tanks. In addition to the Significant Tree Removal, a 17" dbh Redwood Tree stump (Tree #17) and a 24" dbh Tan Oak Tree (Tree # 37) located at the rear of the parcel that is dead (according to the arborist report) will be removed.

Section 12.023 of the Significant Tree Ordinance provides criteria for findings to approve a tree removal permit. The proposed tree removals meet several criteria, specifically: (1) trees are too closely located to proposed structures; (2) removal is necessary to allow reasonable economic or other enjoyment of the property; and (3) trees will be replaced by plantings approved by the Community Development Director. Per Mitigation Measure 5, five (5) replacement trees of a native species would be planted, as advised by an arborist, in locations to enhance screening from Skyline Boulevard.

B. ENVIRONMENTAL REVIEW

An IS/MND was prepared and circulated for this project. The 30 day public comment period commenced on April 14, 2018 and ends on May 14, 2018. As of the date of the printing of this report, one comment has been received by Caltrans.

Staff notes two non-substantial revisions to the project description from that describe in the IS/MND. First, the IS/MND described the project as requiring the removal of 12 significant trees. The total has been reduced to 10 significant trees. The original total included a 24" dbh Tan Oak Tree (Tree #37) at the rear of the property that is dead and a Redwood Tree stump (Tree # 17). This correction reduces the overall impact of the project and is not a substantial revision requiring the revision or recirculation of the IS/MND. Second, the IS/MND described the new residence as 2,496 sq. ft.; the proposed residence is 2,498 square feet. This minor correction to the project description is not a substantial revision and does not require recirculation of the IS/MND.

A comment letter from the California Department of Transportation was received on May 11, 2018 (Attachment F). In the letter, Caltrans mistakenly states that the referral to the California Historical Resources Information System (CHRIS) did not occur. The (CHRIS) referral occurred May 8, 2017 and is referenced in Section 5 of the IS/MND (Attachment G). Staff contacted Caltrans, who stated that they would correct the record with the State Clearinghouse. This correspondence does not impact the analysis of the Initial Study and Mitigated Negative Declaration.

C. REVIEWING AGENCIES

Department of Public Works
Building Inspection Section
Cal-Fire
Environmental Health Division
Geotechnical Section
California Department of Transportation (Caltrans)

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map and Zoning Map
- C. Project Site Plan and Elevations
- D. Photos
- E. Initial Study and Mitigated Negative Declaration (IS/MND), including attachments:
 - 1. Arborist report by Leon F. Dolzal, dated June 12, 2017.
 - 2. Geotechnical Study by Sigma Prime Geosciences, Inc., dated January 2017
- F. Department of Transportation Letter, dated May 11, 2018
- G. California Historical Resource Information Center Letter, dated May 8, 2017

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2016-00336

Hearing Date: May 23, 2018

Prepared By: Erica Adams, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For the Environmental Review, Find

1. That the Initial Study and Mitigated Negative Declaration are complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act (CEQA) and the applicable State and County Guidelines. An Initial Study and a Mitigated Negative Declaration were prepared and issued with a public review period from April 14, 2018 to May 14, 2018.
2. That, on the basis of the Initial Study, comments received hereto, and testimony presented and considered at the public hearing, there is no substantial evidence that the project, will have a significant effect on the environment. The Initial Study and Mitigated Negative Declaration identify potentially significant impacts to air quality, biological resources, cultural resources, geology and soils, climate change, hazards and hazardous materials, hydrology and water quality, and tribal cultural resources. The mitigation measures contained in the Mitigated Negative Declaration have been included as conditions of approval for the project. As proposed and mitigated, the project will not result in any significant environmental impacts.
3. That the mitigation measures identified in the Mitigated Negative Declaration, agreed to by the applicant, and identified as part of this public hearing, have been incorporated as conditions of project approval.
4. That the Initial Study and Mitigated Negative Declaration reflect the independent judgment of the County.

For the Architectural Review, Find

5. The project as proposed and conditioned, meets applicable requirements of the California Streets and Highways Code, including standards which require that building designs represent “quietness, repose, and unobtrusiveness” and “blend

with the natural terrain rather than detracting from it.” The proposed single-family dwelling proposal preserves the existing natural qualities of the parcel from public views from Skyline Boulevard by retaining as many mature trees as possible, being one-story, using colors and materials which blend with the existing surroundings, sharing an access driveway, and minimizing grading.

For the Significant Tree Removal Permit, Find

6. Removal of 10 trees complies with the Significant Tree Ordinance. The removal meets the following removal criteria: (1) trees are too closely located to existing or proposed structures; (2) removal is necessary to allow reasonable economic or other enjoyment of the property; and (3) trees will be replaced by plantings approved by the Community Development Director and required by Mitigation Measure 5.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal as described in the plans, supporting materials, and reports as approved by the Planning Commission on May 23, 2018. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to the project may be approved by the Community Development Director if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Community Development Director may refer consideration of the revisions to the Planning Commission, with applicable fees to be paid.
2. The Architectural Review and Significant Tree Removal Permit approval shall be valid for two (2) years from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. The Architectural Review and Significant Tree Removal Permit approval may be extended by one 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.
3. The applicant shall coordinate with the project planner to record the Notice of Determination and pay an environmental filing fee of \$2,280.75 (or current fee), as required under Fish and Game Code Section 711.4(d), plus a \$50.00 recording fee to the San Mateo County within four (4) working days of the final approval date of this project.
4. Landscaping with non-native vegetation shall be prohibited in the first 50 feet of the parcel. Planting of non-native invasive plants is prohibited.

5. Ten (10) trees are approved for removal. Trees designated to remain shall be protected from damage during construction. Any additional tree removal is subject to the San Mateo County Tree Ordinance and will require a separate permit for removal.
6. The project is subject to compliance with the Water Efficient Landscape Ordinance (WELo): <http://planning.smcgov.org/documents/water-efficient-landscape-ordinance-welo>. The landscape plan shall comply with the Water Efficient Landscape Ordinance. The building plans shall demonstrate compliance with the Water Efficient Landscape Ordinance.
7. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and to prevent erosion and sedimentation off-site.
8. An Erosion Control and/or Tree Protection Inspection is required prior to the issuance of a building permit for grading, construction, and demolition purposes, as the project requires tree protection of significant trees and a grading permit. Once all review agencies have approved your building permit, you will be notified that an approved job copy of the Erosion Control and/or Tree Protection Plan is ready for pick-up at the planning counter of the Planning and Building Department. Once the Erosion Control and/or Tree Protection measures have been installed per the approved plans, please contact Jeremiah Pons, Building/Erosion Control Inspector, at 650/599-1592 or jpons@smcgov.org, to schedule a pre-site inspection. A \$144.00 inspection fee will be assessed to the building permit for the inspection. If the initial pre-site inspection is not approved, an additional inspection fee will be assessed for each required re-inspection until the job site passes the Pre-Site Inspection, or as determined by the Building Inspection Section.
9. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Planning Section to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
10. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and Cal-Fire.
11. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.

12. The applicant shall provide “finished floor elevation verification” to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to the Planning and Building Department’s approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
13. No site disturbance shall occur, including any grading or tree/vegetation removal, until a building permit has been issued.
14. To reduce the impact of construction activities on neighboring properties, comply with the following:

- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
- c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Skyline Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Skyline Boulevard. There shall be no storage of construction vehicles in the public right-of-way.

Mitigation Measures

15. **Mitigation Measure 1:** Identify, establish and maintain 6-foot tree protection zones (TPZ) with fences on posts in the ground. Tree protection fences (TPF) are required to be 2 x 4's wrapped with orange snow fencing to minimize tractor blight, trauma wounds on trees within trafficked areas that do not have TPF. The TPZ's, tree protection zones, should be based on 1'/diameter inch at DBH. Fences should be installed at appropriate radii of trees to remain before any site preparation is done. Six-foot fences on posts in the ground is recommended with as necessary 2 x 4's wrapped with orange snow fencing to minimize tractor blight, trauma wounds, on trees within trafficked areas that do not have TPZ fencing. Any work which is to be done in the TPZ shall be done after consultation with a certified arborist and approval of the Current Planning Section.
16. **Mitigation Measure 2:** Maintain tree protection zones free of equipment and materials storage. Contractors shall not clean any tools, forms or equipment within these areas.
17. **Mitigation Measure 3:** If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.
18. **Mitigation Measure 4:** A certified arborist should inspect site; (1) after TPZs are established, (2) after selection removal process is completed, (3) after primary grading, (4) during hand digging of the first 2 feet to expose any roots 1.5 inches or greater in diameter within the TPZs (arborist should inspect the 1.5-inch roots before excision. Excision will be done with clean cuts and tree wound dressing

applied.), (5) after foundation excavation, (6) after foundation forming and concrete pour, (7) during of hand digging of the top 2 feet for septic system and drainage system and retention basin, (8) after finish grading and before driveway preparation, (9) after driveway installation, and (10) before and after landscape design/installation.

19. **Mitigation Measure 5:** Five replacement trees, each a native species and a minimum of 15-gallon size, shall be planted in locations, as prescribed by the arborist, with the intent to screen the development from Skyline Boulevard and have ensure growth.
20. **Mitigation Measure 6:** The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site. In forested areas, all exterior construction materials shall be of deep earth hues such as dark browns, greens and rusts. Materials shall absorb light (i.e., dark, rough textured materials). Exterior lighting shall be minimized, and earth-tone colors of lights used (e.g., yellow, brown toned lights, rather than blue-toned fluorescents). In grassland, or grassland/forest areas, all exterior materials shall be of the same earth and vegetative tones as the predominant colors of the site (as determined by on-site inspections). Highly reflective surfaces and colors are discouraged.
21. **Mitigation Measure 7:** All exterior lighting shall be directed downward and/or hooded.
22. **Mitigation Measure 8:** The following dust control measure notes shall be added to the plans at the building permit stage. The applicant shall implement the following dust control measures during grading and construction activities:
 - a. Water all active construction and grading areas at least twice daily.
 - b. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
 - c. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
 - d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
 - e. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
23. **Mitigation Measure 9:** An unexpected discovery of cultural resources during any phase of the project shall result in a work stoppage in the vicinity of the find until the resources can be evaluated by a professional archaeologist. The

applicant and/or project contractor shall educate workers and the public on the consequences of unauthorized collection of artifacts.

24. **Mitigation Measure 10:** In the event that cultural, paleontological, or archaeological resources be encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
25. **Mitigation Measure 11:** The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.
26. **Mitigation Measure 12:** The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the Building Permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
27. **Mitigation Measure 13:** Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to

surface waters. Said plan shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for project activities.
- d. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
- l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter

strips should have relatively flat slopes and be vegetated with erosion-resistant species.

- m. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
 - n. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.
28. **Mitigation Measure 14:** The applicant shall implement the following basic construction measures at all times:
- a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.
 - b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
 - c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
29. **Mitigation Measure 15:** Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).
30. **Mitigation Measure 16:** Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project.
31. **Mitigation Measure 17:** In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the

resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

32. **Mitigation Measure 18:** Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

Cal-Fire

33. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 feet wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 feet on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15% shall be paved and no grade shall be over 20%. When gravel roads are used, it shall be Class 2 base or equivalent compacted to 95%. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
34. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least 6 feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by Cal Fire. Numerals shall be contrasting in color to their background and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.
35. The applicant shall contact the County Fire Marshal's Office to schedule a Final Inspection by a building inspector. Please allow for a minimum 72-hour notice to Cal-Fire at 650/573-3846.
36. A fire flow of 1,000 gallons per minute (gpm) for 2 hours with a 20 pounds per square inch (psi) residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site.

37. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrester of a mesh with an opening no larger than 1/2-inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and clearing away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roofline of any structure.
38. LP-gas equipment shall be installed in accordance with the California Fire and Mechanical Codes and NFPA 58.
39. CRC T-14 requires structures, subdivision and developments in State Responsibility Areas on parcels an acre and larger to provide a minimum 30-foot setbacks for buildings and accessory structures from all property lines and the center of the road.
40. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
41. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
42. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors, and underfloor protection to meet CRC R327 or CBC Chapter 7A requirements.
43. The required fire flow shall be available County Standard Wet Barrel Fire Hydrant, the configuration of the hydrant shall be a minimum of a 6" opening with a minimum of one each 4-1/2" outlet and one each 2-1/2" outlet located not less than 5 feet nor more than 250 feet from the building, measured by way of approved drivable access to the project site.
44. The standpipe/hydrant shall be capable of a minimum fire flow of 1,000 gallons per-minute. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.
45. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13R shall be required to be installed for your project. Plans shall be

submitted to the San Mateo County Building Inspection Section for review and approval by Cal-Fire.

Department of Public Works

46. Prior to the issuance of the building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
47. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
48. The applicant shall submit to the Department of Public Works, for review, documentation of ingress/egress easements for the applicant's use and the use of others.
49. No proposed construction work within the Caltrans right-of-way shall begin until Caltrans requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a California Department of Transportation Inspector 48 hours prior to commencing work in the right-of-way.
50. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.

Caltrans

51. Please be advised that any work or traffic control that encroaches onto the state Right-of-Way (ROW) requires an encroachment permit that is issued by

Caltrans. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to: Office of Permits, California DOT, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link below for more information:
<http://www.dot.ca.gov/hq/traffops/developserv/permits/>.

ED:pac - EDACC0237_WPU.DOCX

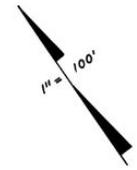


County of San Mateo - Planning and Building Department

ATTACHMENT B

TAX CODE AREA - - - - -

67-8



△ PARCEL MAP VOL 54/14
ASSESSOR'S MAP NO. 4/37

GL

ASSESSOR'S MAP COUNTY OF SAN MATEO CA.

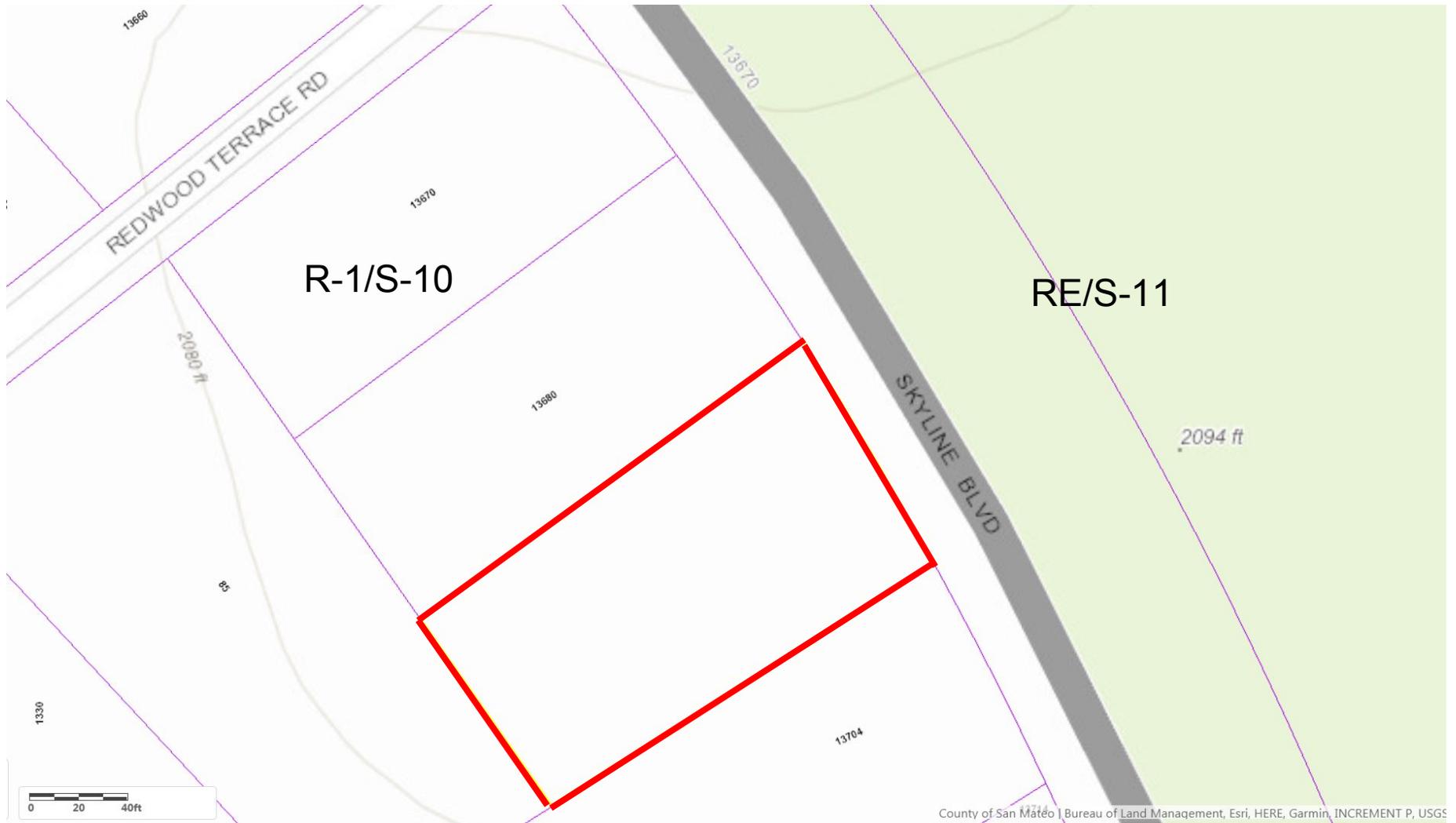
5-77

San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____

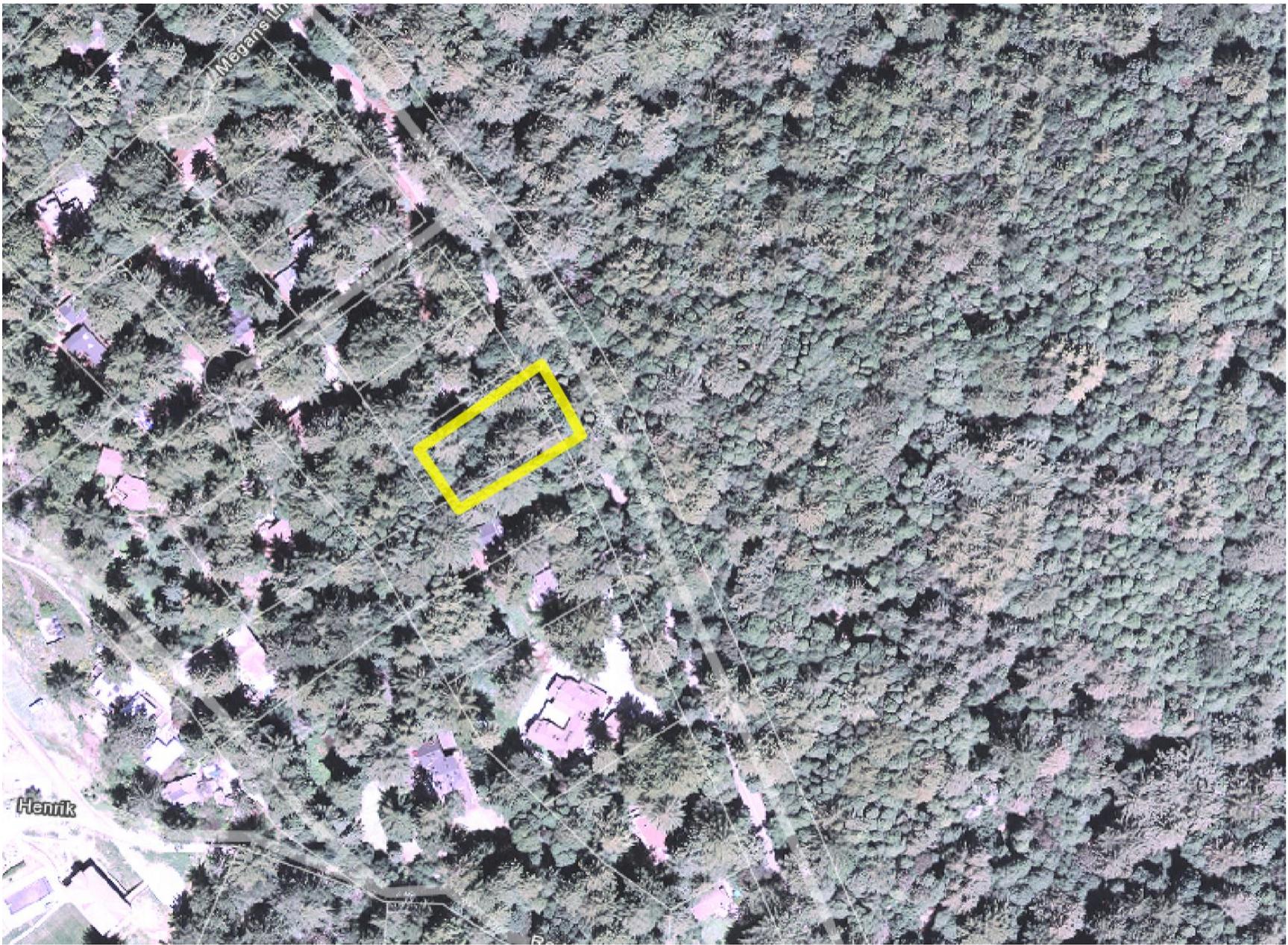


San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:



San Mateo County Planning Commission Meeting

Owner/Applicant: _____

Attachment: _____

File Numbers: _____

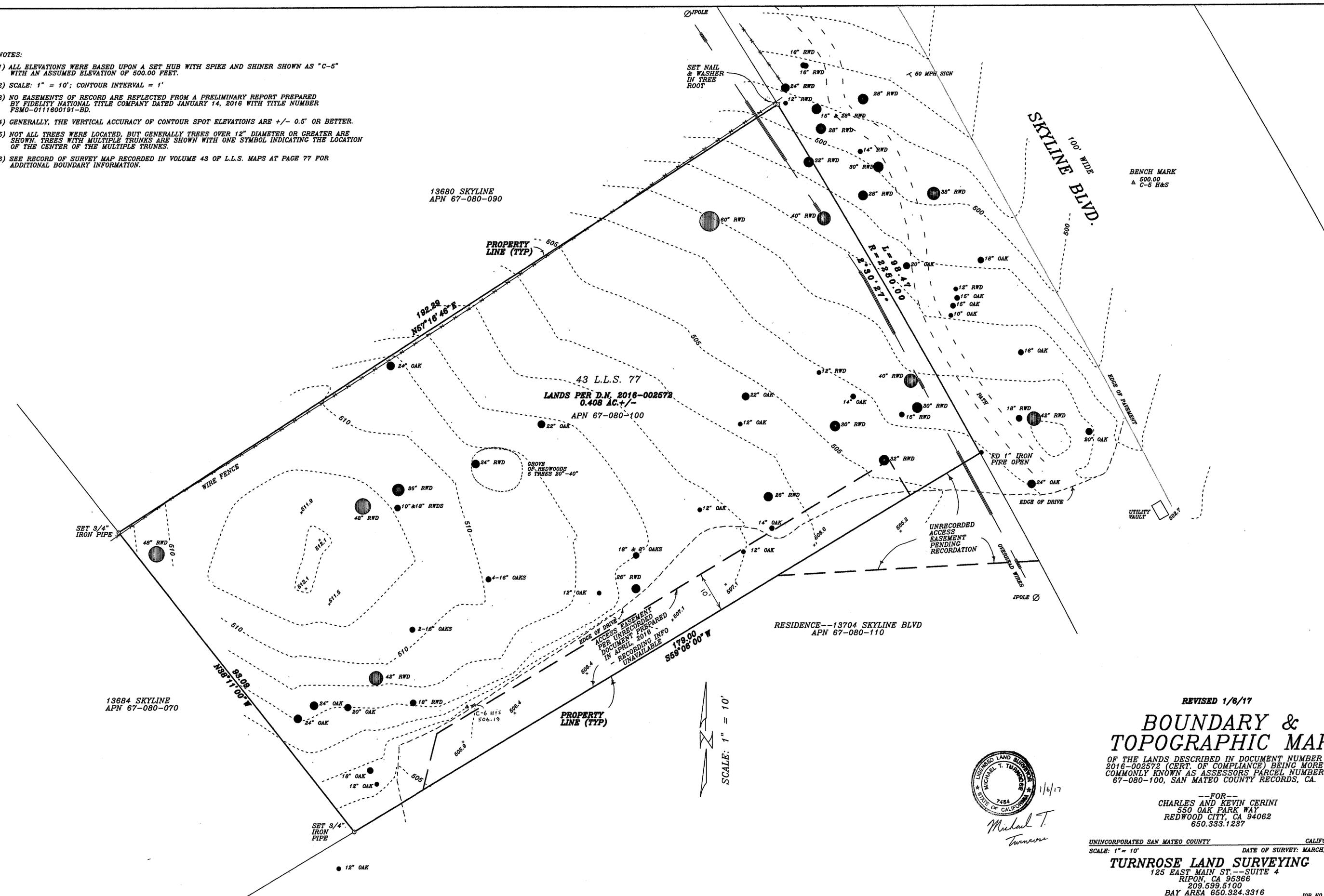


County of San Mateo - Planning and Building Department

ATTACHMENT C

NOTES:

- 1) ALL ELEVATIONS WERE BASED UPON A SET HUB WITH SPIKE AND SHINER SHOWN AS "C-5" WITH AN ASSUMED ELEVATION OF 500.00 FEET.
- 2) SCALE: 1" = 10'; CONTOUR INTERVAL = 1'
- 3) NO EASEMENTS OF RECORD ARE REFLECTED FROM A PRELIMINARY REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY DATED JANUARY 14, 2016 WITH TITLE NUMBER FSMO-0111800191-BD.
- 4) GENERALLY, THE VERTICAL ACCURACY OF CONTOUR SPOT ELEVATIONS ARE +/- 0.5' OR BETTER.
- 5) NOT ALL TREES WERE LOCATED, BUT GENERALLY TREES OVER 12" DIAMETER OR GREATER ARE SHOWN. TREES WITH MULTIPLE TRUNKS ARE SHOWN WITH ONE SYMBOL INDICATING THE LOCATION OF THE CENTER OF THE MULTIPLE TRUNKS.
- 6) SEE RECORD OF SURVEY MAP RECORDED IN VOLUME 43 OF L.L.S. MAPS AT PAGE 77 FOR ADDITIONAL BOUNDARY INFORMATION.



BENCH MARK
500.00
C-5 H&S

13684 SKYLINE
APN 67-080-070

13680 SKYLINE
APN 67-080-090

43 L.L.S. 77
LANDS PER D.M. 2016-002572
0.408 AC. +/-
APN 67-080-100

RESIDENCE--13704 SKYLINE BLVD
APN 67-080-110



Michael T. Turnrose

REVISED 1/6/17
BOUNDARY & TOPOGRAPHIC MAP

OF THE LANDS DESCRIBED IN DOCUMENT NUMBER 2016-002572 (CERT. OF COMPLIANCE) BEING MORE COMMONLY KNOWN AS ASSESSORS PARCEL NUMBER 67-080-100, SAN MATEO COUNTY RECORDS, CA.

--FOR--
CHARLES AND KEVIN CERINI
550 OAK PARK WAY
REDWOOD CITY, CA 94062
650.333.1237

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1" = 10' DATE OF SURVEY: MARCH, 2016

TURNROSE LAND SURVEYING
125 EAST MAIN ST. --SUITE 4
RIPON, CA 95366
209.599.5100
BAY AREA 650.324.3316

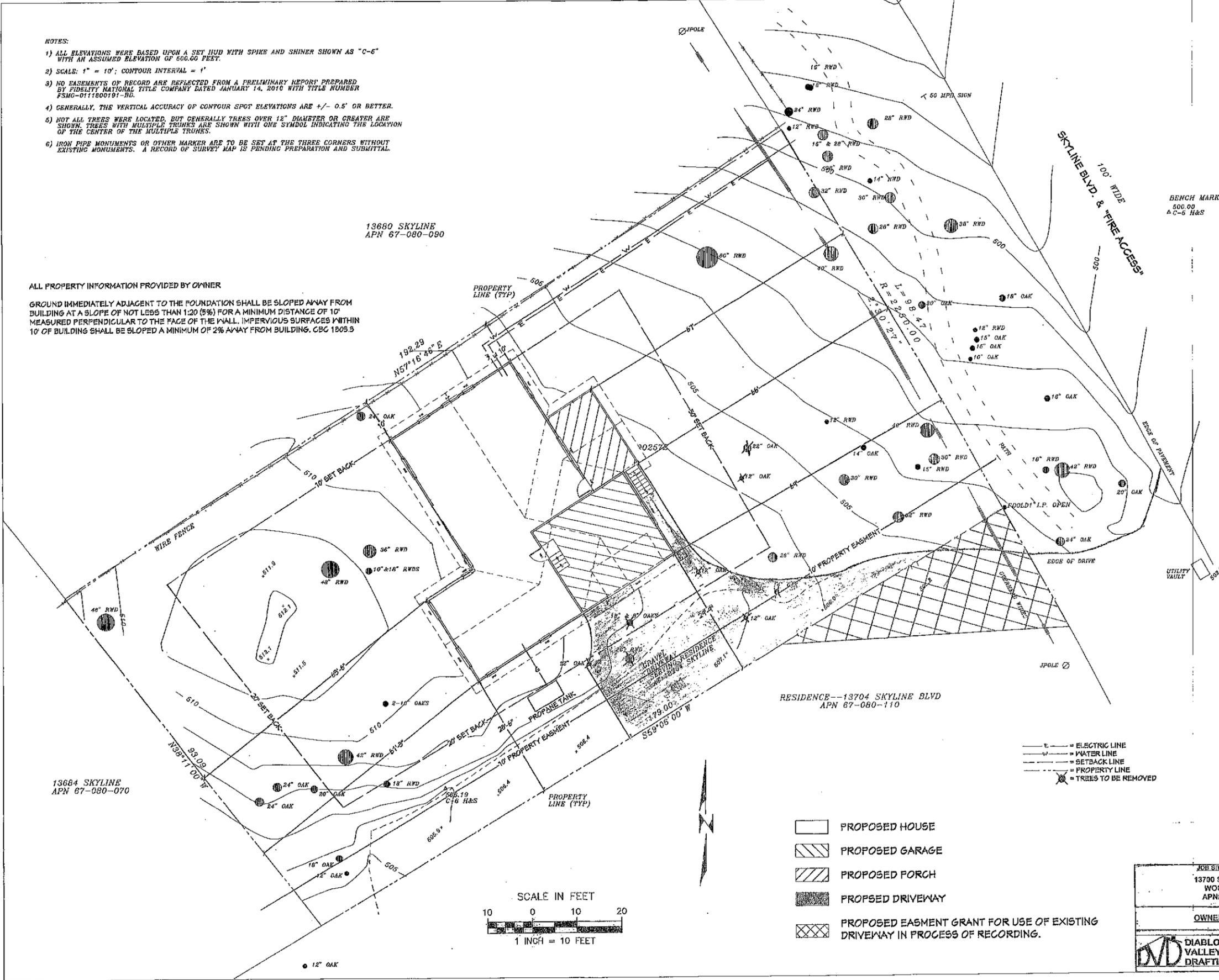
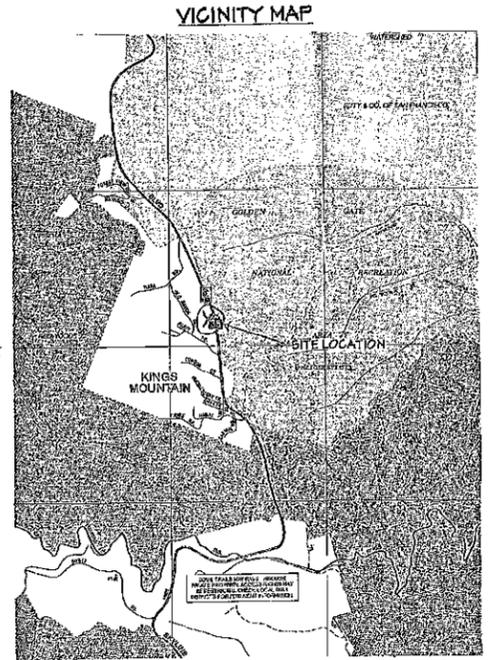
NOTES:

- 1) ALL ELEVATIONS WERE BASED UPON A SET HUB WITH SPIKE AND SHINER SHOWN AS "C-5" WITH AN ASSUMED ELEVATION OF 600.00 FEET.
- 2) SCALE: 1" = 10'; CONTOUR INTERVAL = 1'
- 3) NO EASEMENTS OF RECORD ARE REFLECTED FROM A PRELIMINARY REPORT PREPARED BY FIDELITY NATIONAL TITLE COMPANY DATED JANUARY 14, 2010 WITH TITLE NUMBER FSMG-0111600191-BB.
- 4) GENERALLY, THE VERTICAL ACCURACY OF CONTOUR SPOT ELEVATIONS ARE +/- 0.5' OR BETTER.
- 5) NOT ALL TREES WERE LOCATED, BUT GENERALLY TREES OVER 12" DIAMETER OR GREATER ARE SHOWN. TREES WITH MULTIPLE TRUNKS ARE SHOWN WITH ONE SYMBOL INDICATING THE LOCATION OF THE CENTER OF THE MULTIPLE TRUNKS.
- 6) IRON PIPE MONUMENTS OR OTHER MARKER ARE TO BE SET AT THE THREE CORNERS WITHOUT EXISTING MONUMENTS. A RECORD OF SURVEY MAP IS PENDING PREPARATION AND SUBMITTAL.

13680 SKYLINE
APN 67-080-090

ALL PROPERTY INFORMATION PROVIDED BY OWNER

GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 1:20 (5%) FOR A MINIMUM DISTANCE OF 10' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10' OF BUILDING SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM BUILDING. CBC 18053

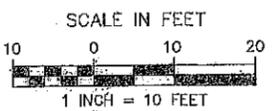


SITE COVERAGE

LOT SIZE	17,772 S.F.
NEW HOUSE	1,726 S.F.
NEW GARAGE	539 S.F.
NEW PORCH	2,315 S.F.
2,496 S.F.	2,496 S.F.
17,772 S.F. = 14% OF LOT COVERAGE	

- E — ELECTRIC LINE
- W — WATER LINE
- S — SETBACK LINE
- P — PROPERTY LINE
- ⊗ — TREES TO BE REMOVED

- PROPOSED HOUSE
- PROPOSED GARAGE
- PROPOSED PORCH
- PROPOSED DRIVEWAY
- PROPOSED EASEMENT GRANT FOR USE OF EXISTING DRIVEWAY IN PROCESS OF RECORDING.



JOB SITE INFORMATION: 13700 SKYLINE BLVD. WOODSIDE, CA APN#: 67-080-100	PAGE TITLE: SITE PLAN	SCALE: 1" = 10' DRAWN BY: MF
	OWNER: KEVIN CERINI	DATE: 12/10/10
DIABLO VALLEY DRAFTING	Diablo Valley Drafting - Dennis & Matt Foster 426 El Pintado Rd. Suite 190, Danville, CA 94528-1804 Phone: (925) 839-2268 Fax: (925) 865-1051 Email: Dfoster@caprecut.com or Mfoster@caprecut.com.	
		SHEET: SP

PROJECT INFORMATION

OWNER

KEVIN CERINI
550 OAK PARK WAY
REDWOOD CITY, CA 94062

CELL: 650-303-6975
EMAIL: KEVCERINI@AOL.COM

SITE INFORMATION

JOB SITE ADDRESS: SKYLINE BLVD.
WOODSIDE, CA

APN#: 67-080-100
OCCUPANCY GROUP: SINGLE FAMILY
CONSTRUCTION TYPE: NEW CONSTRUCTION
ZONING:

SCOPE OF THE WORK

- NEW HOUSE WITH GREAT ROOM, KITCHEN, DINING ROOM, PANTRY, (2) BEDROOM, (1) BATHROOM, MASTER BEDROOM, AND MASTER BATHROOM.
- 2 - CAR GARAGE
- NEW COVERED PORCH

BUILDING SQUARE FOOTAGE

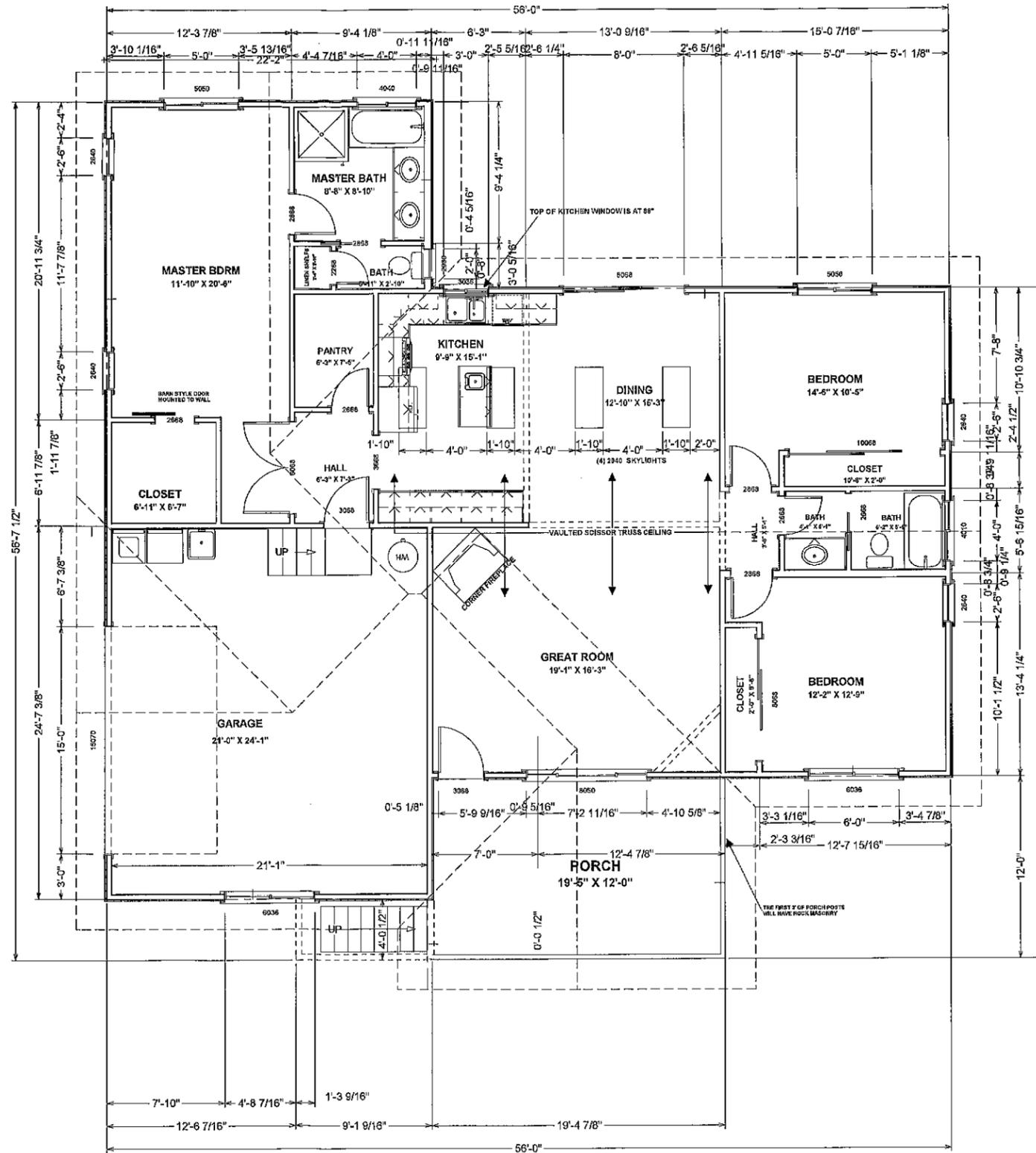
NEW HOUSE	1,726 S.F.
NEW GARAGE	539 S.F.
NEW PORCH	231 S.F.

HOME FURNACE IN ATTIC OR UNDER HOUSE. HEAT ONLY NO AC.

PROJECT SHALL MEET ALL REQUIREMENTS OF CRC FOR "MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE" AS THIS PROPERTY IS LOCATED WITHIN THE STATE RESPONSIBILITY AREA (SRA) FOR FIRE HAZARD.

FIRE PLACE SHALL BE DIRECT VENT, SEALED FRONT, UNIT.

THIS BUILDING WILL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER.



REVISIONS BY:	10-3-2016 MF
	12-9-2016 MF
Diablo Valley Drafting Dennis & Kim Foster 425 El Placitas Rd, Suite 130, Danville, CA 94526-1804 Phone: (925) 838-2858 Fax: (925) 855-1051 Email: Dfos@diablocad.com or kfoster@diablocad.com	
PAGE TITLE: FLOOR PLAN	
JOB SITE INFORMATION: SKYLINE BLVD. WOODSIDE, CA APN# 67-080-100	
SCALE:	
DRAWN BY:	MF
DATE:	7-25-2016
SHEET:	1

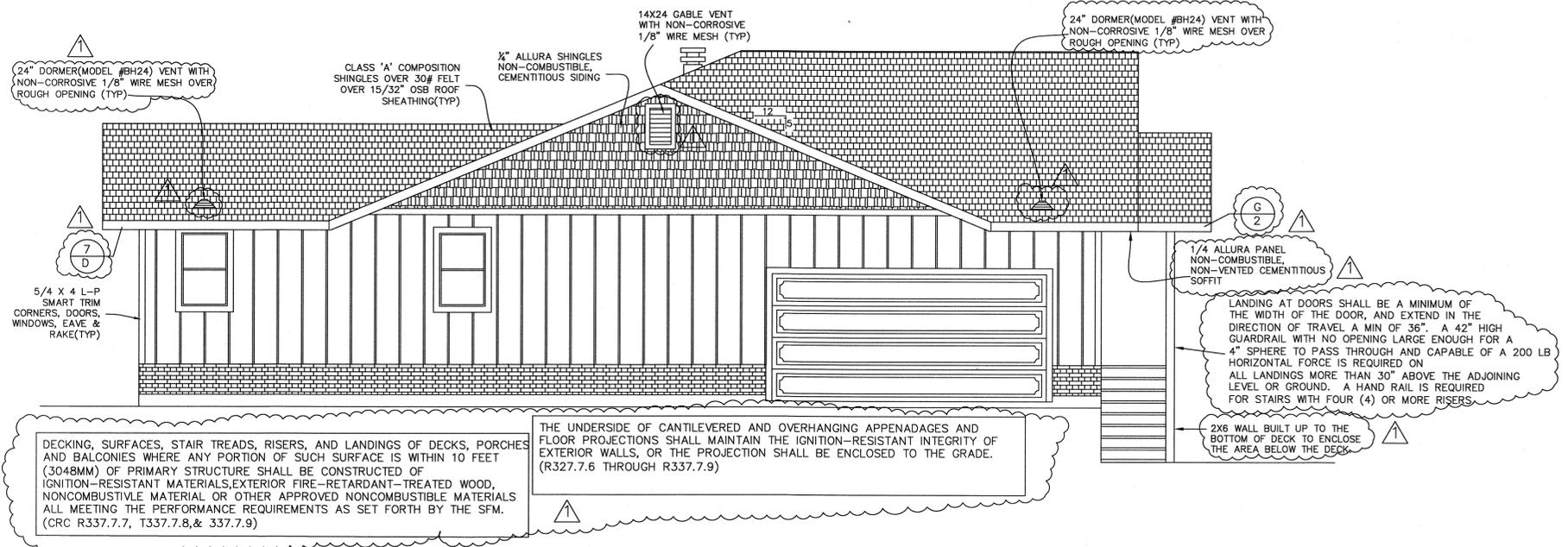
EAVE AND SOFFIT PROTECTION SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON EXPOSED UNDERSIDE.(R337.7.4 AND 337.7.5)

ROOF VALLEYS WHEN PROVIDED, VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (0.48 MM)(NO.26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36 INCH WIDE (914 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY.(R337.5)

ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.(R337.5)

ATTIC VENTILATION IN ACCORDANCE WITH SECTION 1203, ROOF AND VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH MIN OF 1/8 INCH (1.6MM) & MAX 3/8 INCH (3.2MM) OPENINGS .(R337.6)

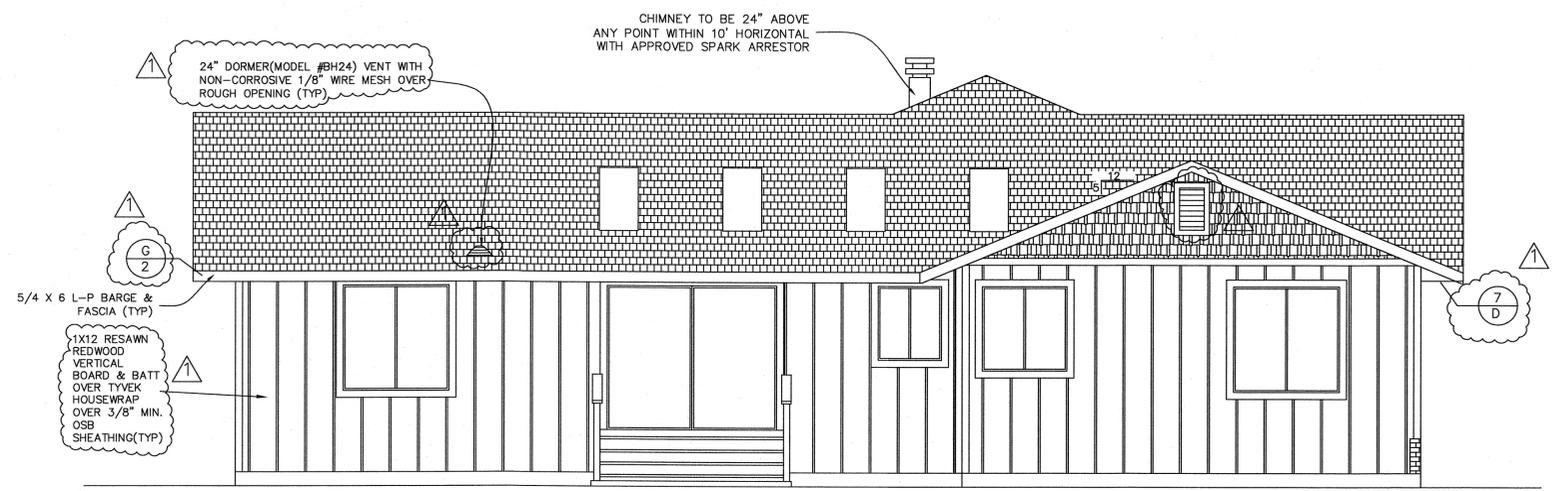
EAVE OR CORNICE VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES EXCEPT: EAVE AND CORNICE VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC.(R337.7.4 AND 337.7.5)



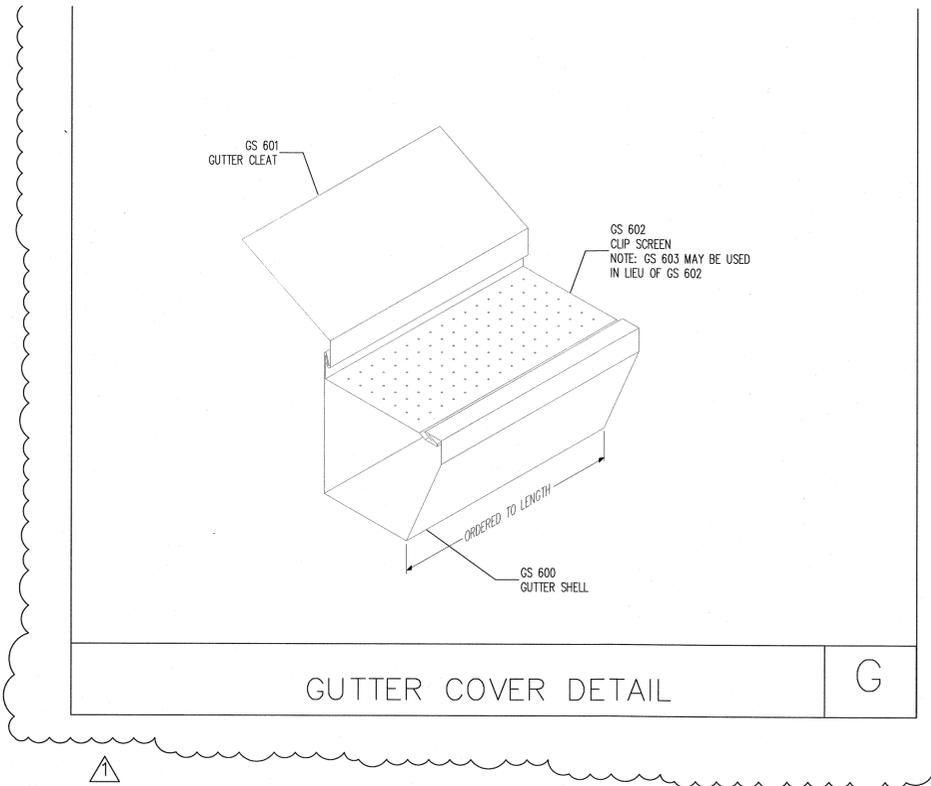
SOUTH ELEVATION
SCALE 1/4" = 1'-0"

DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048MM) OF PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS, EXTERIOR FIRE-RETARDANT-TREATED WOOD, NONCOMBUSTIBLE MATERIAL OR OTHER APPROVED NONCOMBUSTIBLE MATERIALS ALL MEETING THE PERFORMANCE REQUIREMENTS AS SET FORTH BY THE SFM. (CRC R337.7.7, T337.7.8, & 337.7.9)

THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. (R327.7.6 THROUGH R337.7.9)



WEST ELEVATION
SCALE 1/4" = 1'-0"



GUTTER COVER DETAIL

REVISIONS	BY
PLN CK 11-03-17	ABC
PLN CK 5-02-18	ABC

LICENSED REPRESENTATIVE
CPH PRE-CUT HOMES
Dennis Foster & Matt Foster
425 EL PINTADO RD, SUITE 190,
DANVILLE, CA 94526-1866
(925)938-2859
mofoster@cpheut.com

PACIFIC MODERN HOMES
P.O. BOX 670
ELK GROVE, CA.
95759
PHONE: (916) 689-9514



ELEVATIONS

RESIDENCE FOR:
KEVIN CERINI #9305
13700 SKYLINE BLVD.,
WOODSIDE, CA

DATE: 3/3/17
SCALE: 1/4" = 1'-0"
DRAWN BY: MPW
PLAN NO.: 9305

SHEET: **2**

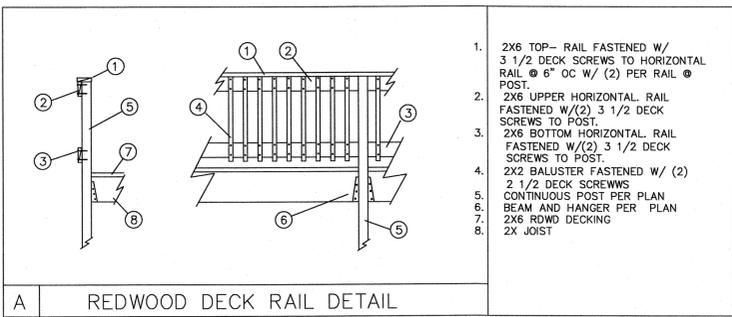
EAVE AND SOFFIT PROTECTION SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON EXPOSED UNDERSIDE.(R337.7.4 AND 337.7.5)

ROOF VALLEYS WHEN PROVIDED, VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (0.48 MM)(NO.26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36 INCH WIDE (914 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY.(R337.5)

ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.(R337.5)

ATTIC VENTILATION IN ACCORDANCE WITH SECTION 1203, ROOF AND VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH MIN OF 1/8 INCH (1.6MM) & MAX 1/2 INCH (3.2MM) OPENINGS (R337.6)

EAVE OR CORNICE VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES EXCEPT: EAVE AND CORNICE VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC.(R337.7.4 AND 337.7.5)



- 2X6 TOP- RAIL FASTENED W/ 3 1/2 DECK SCREWS TO HORIZONTAL RAIL @ 6" OC W/ (2) PER RAIL @ POST.
- 2X6 UPPER HORIZONTAL RAIL FASTENED W/(2) 3 1/2 DECK SCREWS TO POST.
- 2X6 BOTTOM HORIZONTAL RAIL FASTENED W/(2) 3 1/2 DECK SCREWS TO POST.
- 2X2 BALUSTER FASTENED W/ (2) 2 1/2 DECK SCREWS
- CONTINUOUS POST PER PLAN
- BEAM AND HANGER PER PLAN
- 2X6 ROWD DECKING
- 2X JOIST

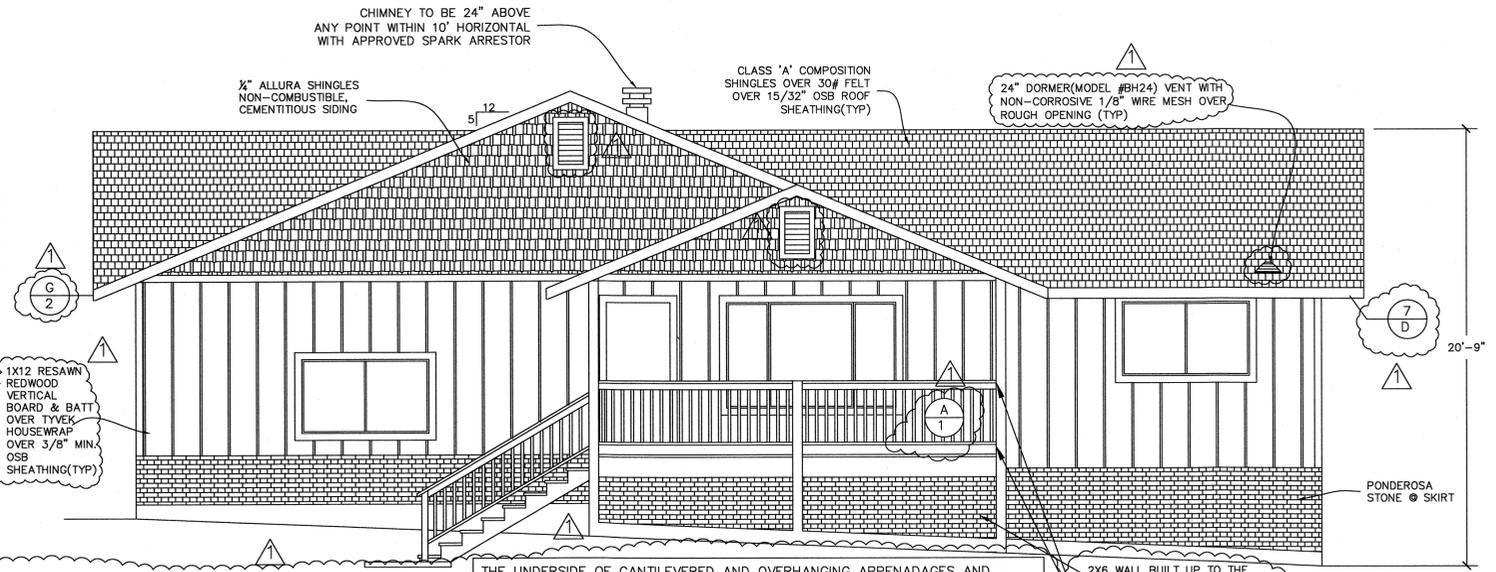
LANDING AT DOORS SHALL BE A MINIMUM OF THE WIDTH OF THE DOOR, AND EXTEND IN THE DIRECTION OF TRAVEL A MIN OF 36". A 42" HIGH GUARDRAIL WITH NO OPENING LARGE ENOUGH FOR A 4" SPHERE TO PASS THROUGH AND CAPABLE OF A 200 LB HORIZONTAL FORCE IS REQUIRED ON ALL LANDINGS MORE THAN 30" ABOVE THE ADJOINING LEVEL OR GROUND. A HAND RAIL IS REQUIRED FOR STAIRS WITH FOUR (4) OR MORE RISERS.

DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048MM) OF PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS, EXTERIOR FIRE-RETARDANT-TREATED WOOD, NONCOMBUSTIBLE MATERIAL OR OTHER APPROVED NONCOMBUSTIBLE MATERIALS ALL MEETING THE PERFORMANCE REQUIREMENTS AS SET FORTH BY THE SFM. (CRC R337.7.7, T337.7.8, & 337.7.9)

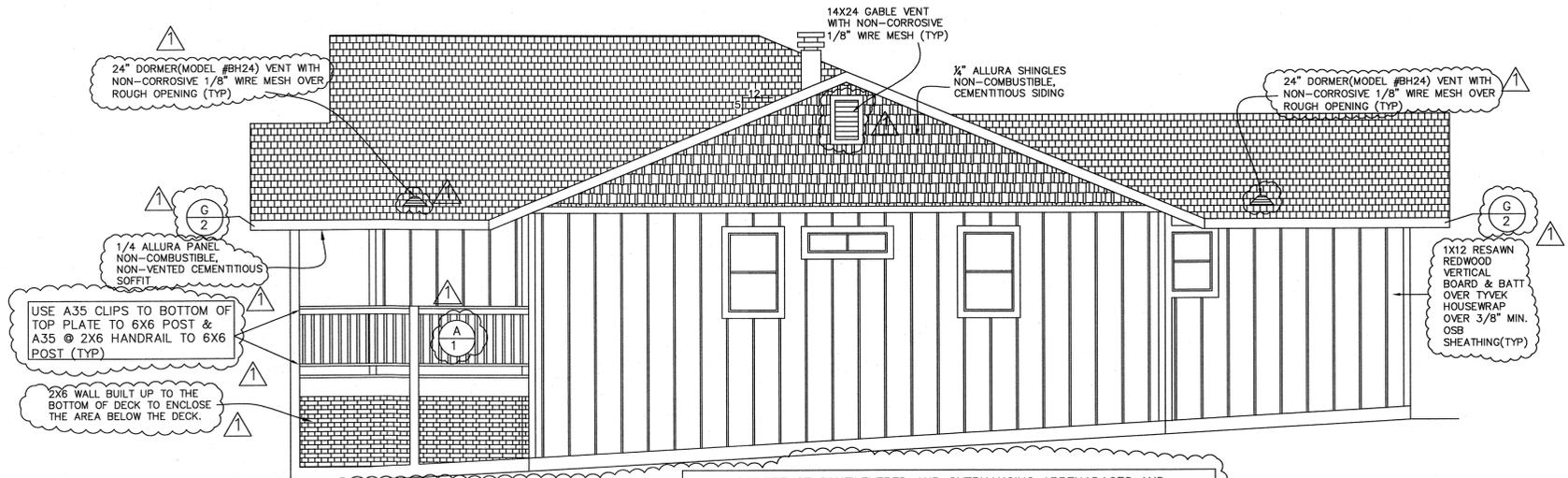
THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENADAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. (R327.7.6 THROUGH R337.7.9)

2X6 WALL BUILT UP TO THE BOTTOM OF DECK TO ENCLOSE THE AREA BELOW THE DECK.

USE A35 CLIPS TO BOTTOM OF TOP PLATE TO 6X6 POST & A35 @ 2X6 HANDRAIL TO 6X6 POST (TYP)



EAST ELEVATION
 SCALE 1/4" = 1'-0"



DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3048MM) OF PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF IGNITION-RESISTANT MATERIALS, EXTERIOR FIRE-RETARDANT-TREATED WOOD, NONCOMBUSTIBLE MATERIAL OR OTHER APPROVED NONCOMBUSTIBLE MATERIALS ALL MEETING THE PERFORMANCE REQUIREMENTS AS SET FORTH BY THE SFM. (CRC R337.7.7, T337.7.8, & 337.7.9)

THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENADAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE. (R327.7.6 THROUGH R337.7.9)

NORTH ELEVATION
 SCALE 1/4" = 1'-0"

REVISIONS	BY
PLC PLN 11/3/17	DWK
PLN CK 11-03-17	ABC
PLN CK 5-02-18	ABC

LICENSED REPRESENTATIVE
Dennis Foster & Matt Foster
PRE-CUT HOMES
 425 EL PINTADO RD, SUITE 190,
 DANVILLE, CA 94526-1886
 (925)838-2859
 mfooster@precut.com

PACIFIC MODERN HOMES
 P.O. BOX 670
 ELK GROVE, CA.
 95759
 PHONE: (916) 685-9514



ROOF PLAN

RESIDENCE FOR:
KEVIN CERINI #9305
13700 SKYLINE BLVD.,
WOODSIDE, CA

DATE: 3/3/17
 SCALE: 1/4" = 1'-0"
 DRAWN BY: MPW
 PLAN NO.: 9305
 SHEET: **5**

ROOF FRAMING NOTES

- USE SIMPSON HI SEISMIC TIE EACH TRUSS TO TOP PLATE CONNECTION. USE SIMPSON STC FOR ALIGNMENT CONTROL BETWEEN ROOF TRUSS AND NON-BEARING WALLS.
- ATTIC VENTILATION NEEDS TO BE AT LEAST 1/150 OF THE ATTIC AREA. THE AREA OF THE VENTILATION MAY BE REDUCED TO 1/300 IF THE AREA IS EQUALLY DISTRIBUTED BETWEEN HIGH AND LOW VENTS. INSULATION BAFFLES NEED TO BE USED TO KEEP THE EAVE VENTS CLEAR. SEE CALCULATIONS BELOW.
- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- TRUSSES/ ROOF FRAMING SHALL BE PRE ENGINEERED AND RE-FABRICATED. SUPPLIER TO SUBMIT ALL CALCULATIONS AND DETAILS TO THE BUILDING DEPARTMENT, CONTRACTOR AND ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION.
- NO ENGINEERED TRUSS MAY BE CUT OR ALTERED.
- RAFTERS, CEILING JOISTS AND TRUSSES ARE TO BE LATERALLY SUPPORTED (BLOCKED) TO PREVENT ROTATION.
- ROOF SHEATHING TO BE MINIMUM 15/32" OSB APA RATED FOR 24" O.C. FRAMING. NAIL WITH 8d @ 6" O.C. EDGE, 12" O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING.
- ALL FRAMING MATERIAL TO BE #2 DOUGLAS FIR MINIMUM, UNLESS NOTED OTHERWISE.
- ALL TOP PLATES TO BE LAPPED 48" MINIMUM WITH 24-16d PER LAP, TYPICAL.
- NAIL ROOF SHEATHING AT DRAG TRUSSES WITH 8d AT 6" O.C. MINIMUM AND AS NOTED ON PLANS.
- RAFTERS AND OVERFRAMING TO BE:
 2X4 #2 DF UP TO 7'-0" MAX SPAN
 2X6 #2 DF UP TO 10'-0" MAX SPAN
 2X8 #2 DF UP TO 14'-0" MAX SPAN
 PROVIDE PURLINS OF SAME SIZE MATERIAL AS SUPPORTED RAFTERS. BRACE TO BEARING LOCATIONS WITH STRUTS AT 6'-0" O.C. MAXIMUM. STRUTS TO BE SAME SIZE AS SUPPORTED RAFTERS AND SHALL BE BRACED WHERE LENGTH EXCEED 6'-0"
- PROVIDE MINIMUM DOUBLE 2X POST AT EACH END OF ALL GIRDER TRUSSES, AND AS NOTED ON PLANS.
- CONNECTION HARDWARE TO BE SIMPSON ONLY. NO SUBSTITUTIONS.
- ALL NAILS IN DIAPHRAGMS AND SHEAR WALLS TO BE COMMON WIRE NAILS, U.N.O.

ATTIC VENTILATION CALCULATIONS

2481 SQ FT ATTIC/300 EQUAL	TOTAL 8.3 SQ FT REQUIRED
NEED 4.15 SQ FT HIGH VENT (4) 14X24 @ 1.15 SQ EACH EQUALS	4.6 SQ FT
NEED 4.15 SQ FT LOW VENT (6) 24" DORMER VENT @ .73 SQ FT EACH	4.38 SQ FT
TOTAL TO BE INSTALLED	8.98 SQ FT

HEADERS FOR 2X6 WALLS UNLESS OTHERWISE NOTED:

OPENING	HEADER	TRIMMER	KING STUDS
0'-0" TO 6'-0"	6X12 #1 DF	SINGLE 2X	SINGLE 2X
OVER 6'-0" TO 8'-0"	6X12 #1 DF	DOUBLE 2X	DOUBLE 2X

HEADERS FOR 2X4 WALLS UNLESS OTHERWISE NOTED:

OPENING	HEADER	TRIMMER	KING STUDS
0'-0" TO 6'-0"	4X12 #2 DF	SINGLE 2X	SINGLE 2X
OVER 6'-0" TO 8'-0"	4X12 #2 DF	DOUBLE 2X	DOUBLE 2X

FOR COMPLETE SHEARWALL AND HOLDOWN DETAILS SEE ENGINEERING SHEETS SC-1 AND SC-2

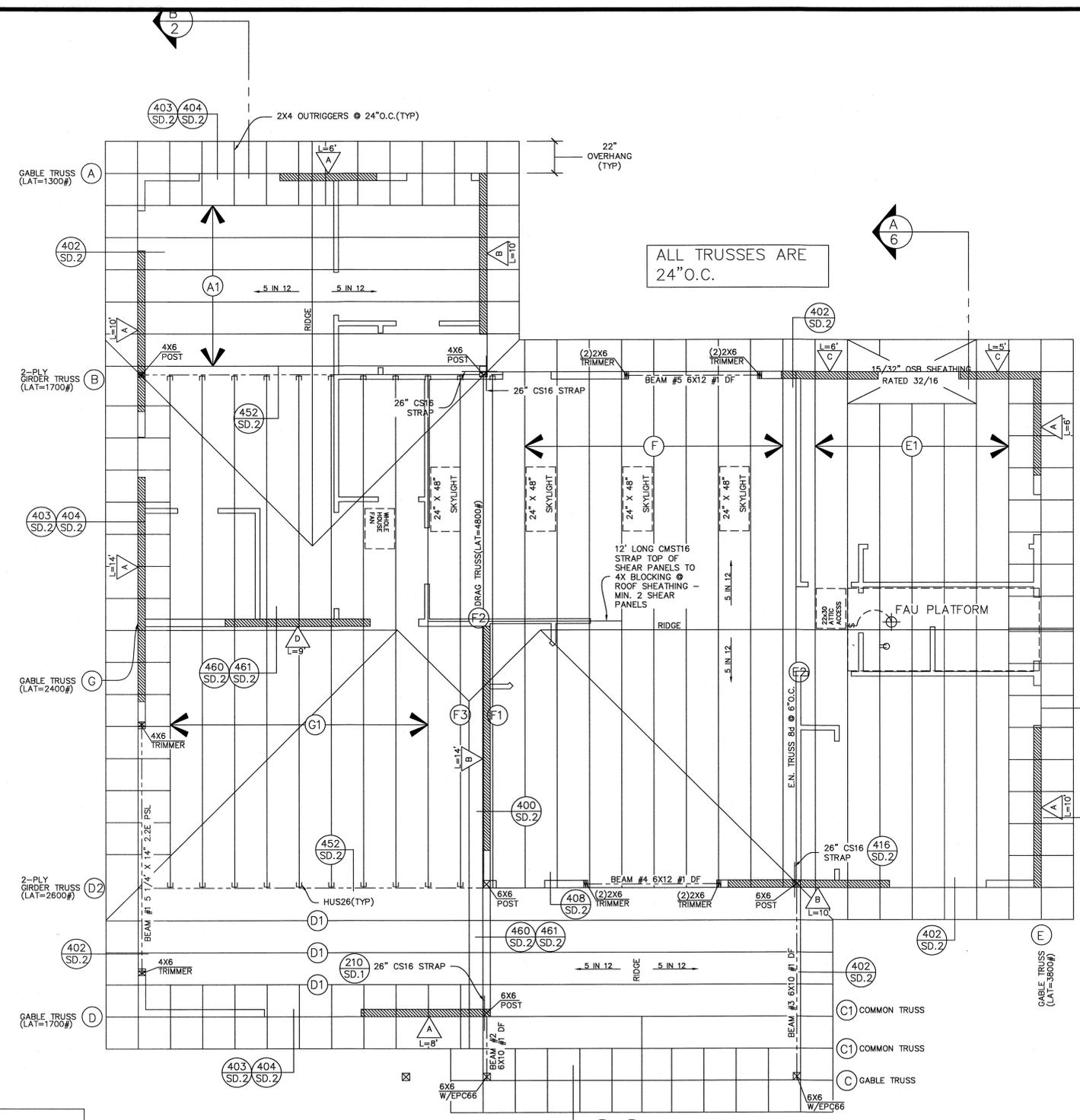
HOLDOWN TYPE	1,2 HOLDOWN NAME	3 MIN. REQ'D POST	4 REQ'D BOLT	d _e	F	CAPACITY
A	HDU2-SDS2.5	(2)2X4 OR (2)2X6	PAB5	5 1/2"	8 1/2"	3,075#
B	HDU4-SDS2.5	(2)2X4 OR (2)2X6	PAB5	5 1/2"	8 1/2"	4,565#
C	HDU5-SDS2.5	(2)2X4 OR (2)2X6	PAB5	5 1/2"	8 1/2"	5,645#
D	HDU8-SDS2.5	4X6	PAB7	8 1/2"	13"	7,870#
E	HDU11-SDS2.5	4X6	PAB8	10"	15"	9,535#
F	HDU14-SDS2.5	4X8 OR 6X6	PAB8	10"	15"	14,445#

NOTES

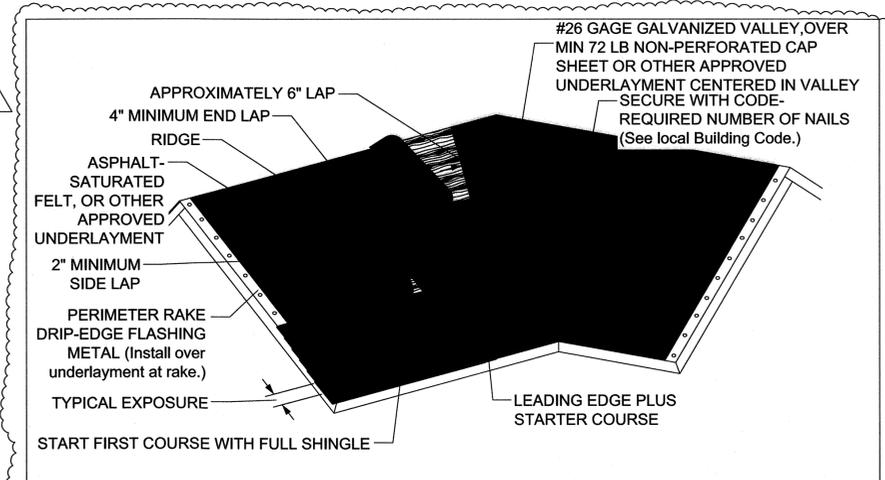
- HOLDOWNS MAY BE RAISED OFF THE SILL WITH NO REDUCTION IN LOAD.
- ALL SCREWS TO BE SIMPSON SDS 1/4" X 2 1/2".
- ALL HOLDOWN POST AND SILL PLATES ARE DESIGNED TO BE DOUGLAS FIR LARCH.
- SEE DETAIL 53 IN PLANS FOR ANCHOR AND FOOTING REQUIREMENTS AT HOLDOWNS.
- CONNECT DOUBLE HOLDOWN STUDS TOGETHER WITH 24-16d SINKER NAILS MINIMUM.

SHEAR WALL TABLE:

TYPE	SEISMIC CAPACITY	WIND CAPACITY	DESCRIPTION
A	260	365	3/8" APA RATED SHEATHING ONE FACE WITH 8d COMMON NAILS AT 6" O.C. EDGE AND 12" O.C. FIELD. 16d @ 6" O.C. OR LTP4 @ 24" O.C. SOLE PLATE TO RM.
B	380	532	3/8" APA RATED SHEATHING ONE FACE WITH 8d COMMON NAILS AT 4" O.C. EDGE AND 12" O.C. FIELD. 3X FRAMING MEMBERS AT ADJOINING PANEL EDGES. 16d @ 4" O.C. OR LTP4 @ 14" O.C. SOLE PLATE TO RM.
C	490	685	3/8" APA RATED SHEATHING ONE FACE WITH 8d COMMON NAILS AT 3" O.C. EDGE AND 12" O.C. FIELD. 3X FRAMING MEMBERS AT ADJOINING PANEL EDGES. 16d @ 3" O.C. OR LTP4 @ 14" O.C. SOLE PLATE TO RM.
D	640	895	3/8" APA RATED SHEATHING ONE FACE WITH 8d COMMON NAILS AT 2" O.C. EDGE AND 12" O.C. FIELD. 3X FRAMING MEMBERS AT ADJOINING PANEL EDGES. 16d @ 4" O.C. (2)ROWS STAGGERED OR LTP4 @ 10" O.C. SOLE PLATE TO RM.



EAVE AND SOFFIT PROTECTION SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON EXPOSED UNDERSIDE.(R337.7.4 AND 337.7.5)
 ROOF VALLEYS WHEN PROVIDED, VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (0.48 MM)(NO.26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36 INCH WIDE (914 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO.72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY.(R337.5)
 ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.(R337.5)
 ATTIC VENTILATION IN ACCORDANCE WITH SECTION 1203, ROOF AND VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH MIN OF 1/8 INCH (1.6MM) & MAX 1/2 INCH (3.2MM) OPENINGS. (R337.6)
 EAVE OR CORNICE VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES EXCEPT: EAVE AND CORNICE VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC.(R337.7.4 AND 337.7.5)



MAY 6 2018

REVISIONS	BY
PLN CK 11-03-17	ABC
PLN CK 5-02-18	ABC

LICENSED REPRESENTATIVE
CALIF. PRE-CUT HOMES
 Dennis Foster & Matt Foster
 425 EL PINTADO RD. SUITE 190,
 DANVILLE, CA 94526-1866
 (925)838-2859
 mtfoster@caprecut.com

PACIFIC MODERN HOMES
 P.O. BOX 670
 ELK GROVE, CA. 95759
 PHONE: (916) 685-9514

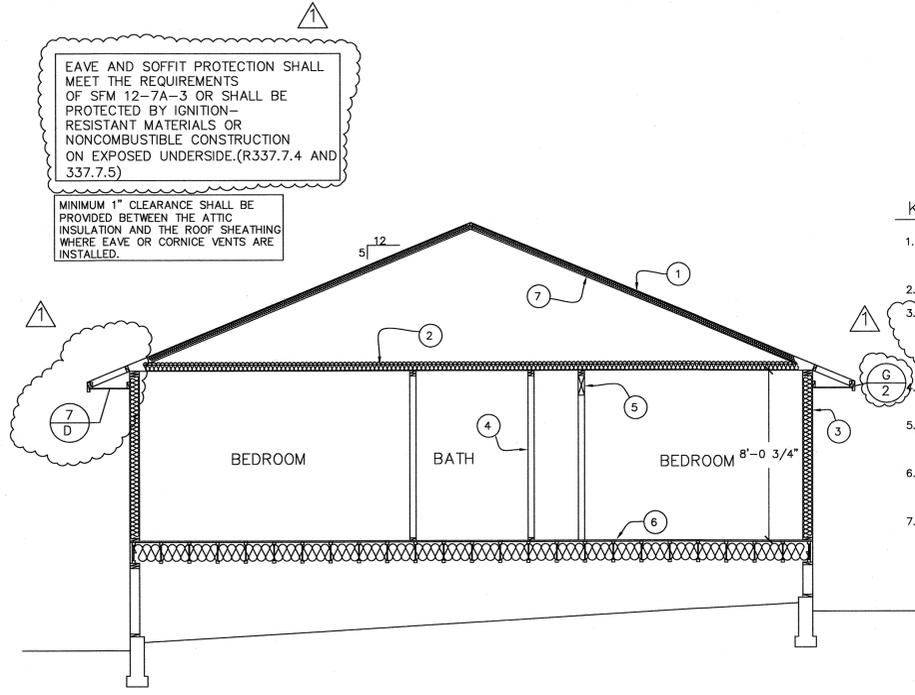


PAGE TITLE
SECTIONS

RESIDENCE FOR:
 KEVIN CERINI #9305
 13700 SKYLINE BLVD.,
 WOODSIDE, CA

DATE: 3/3/17
 SCALE: 1/4" = 1'-0"
 DRAWN BY: MPW
 PLAN NO.: 9305

SHEET:
6



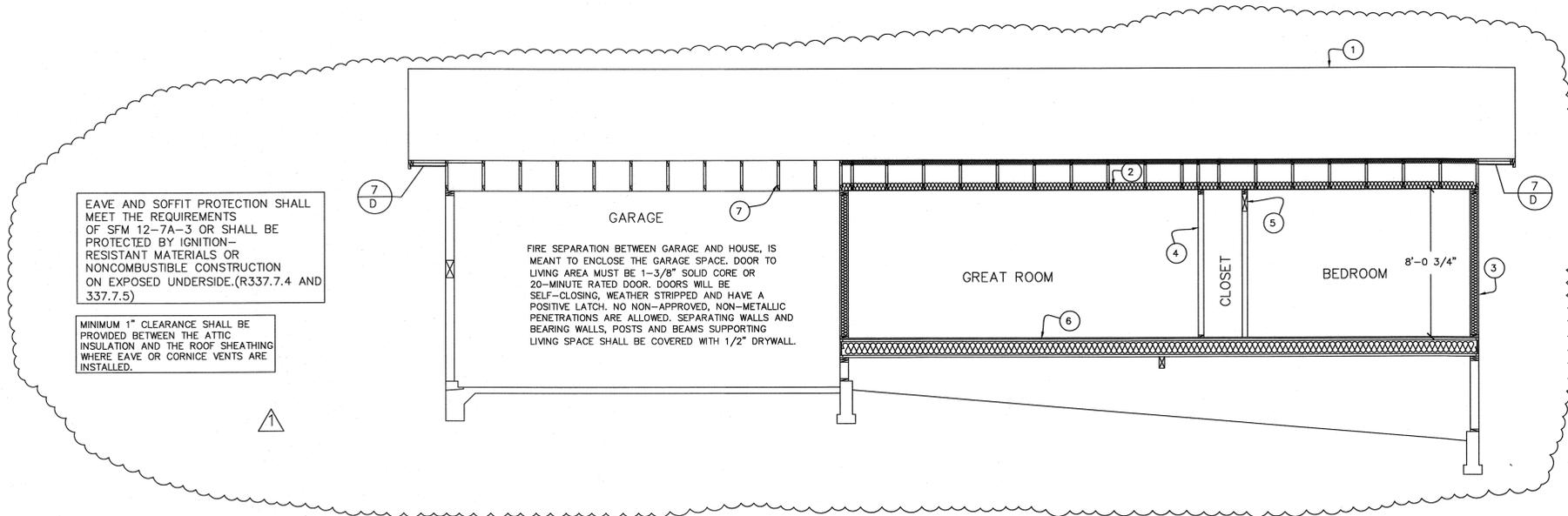
EAVE AND SOFFIT PROTECTION SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON EXPOSED UNDERSIDE.(R337.7.4 AND 337.7.5)

MINIMUM 1" CLEARANCE SHALL BE PROVIDED BETWEEN THE ATTIC INSULATION AND THE ROOF SHEATHING WHERE EAVE OR CORNICE VENTS ARE INSTALLED.

KEY NOTES:

1. CLASS "A" COMPOSITION SHINGLE ROOFING OVER 30# FELT, AND 15/32" OSB ROOF SHEATHING. OVER R-13 BATT INSULATION.
2. R-38 BATT INSULATION CEILINGS.
3. EXTERIOR WALLS: 1X12 RESAWN REDWOOD VERTICAL BOARD OVER TYVEK AND 3/8" OSB SHEATHING 2X6 DF @ 16" O.C. DOUBLE TOP PLATE W/ MIN 48" LAP & R-19 BATT INSULATION.
4. 2X4 DF @ 16" OC ALL INTERIOR WALLS INTERIOR SURFACES TO HAVE 1/2" DRYWALL.
5. 4X12 #2 DF HEADER ALL OPENINGS (TYP) U.O.N. SEE HEADER SCHEDULE, ON FLOOR PLAN. USE 6X12 IN 2X6 WALLS.
6. 23/32" OSB T&G SUB FLOOR SHEATHING OVER 11 7/8" BCI 6500 1.8 @ 16" O.C. FLOOR JOISTS, & R-19 BATT INSULATION.
7. COMMON TRUSS.

SECTION 'A'
 SCALE 1/4" = 1'-0"

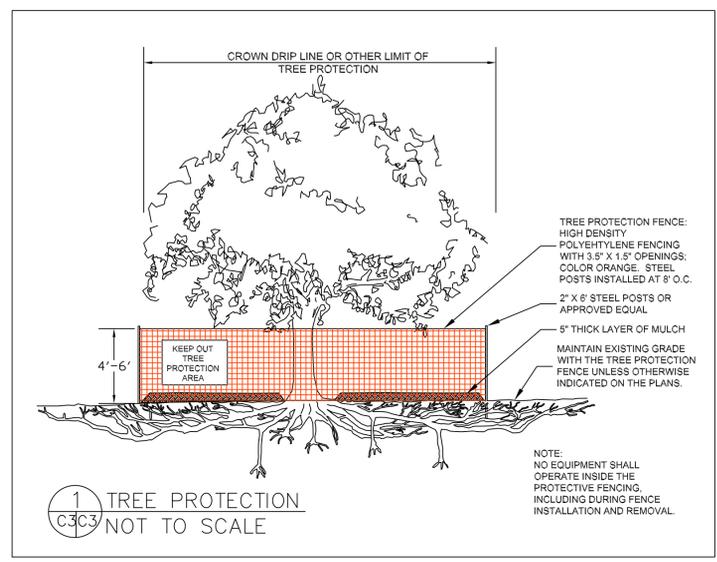
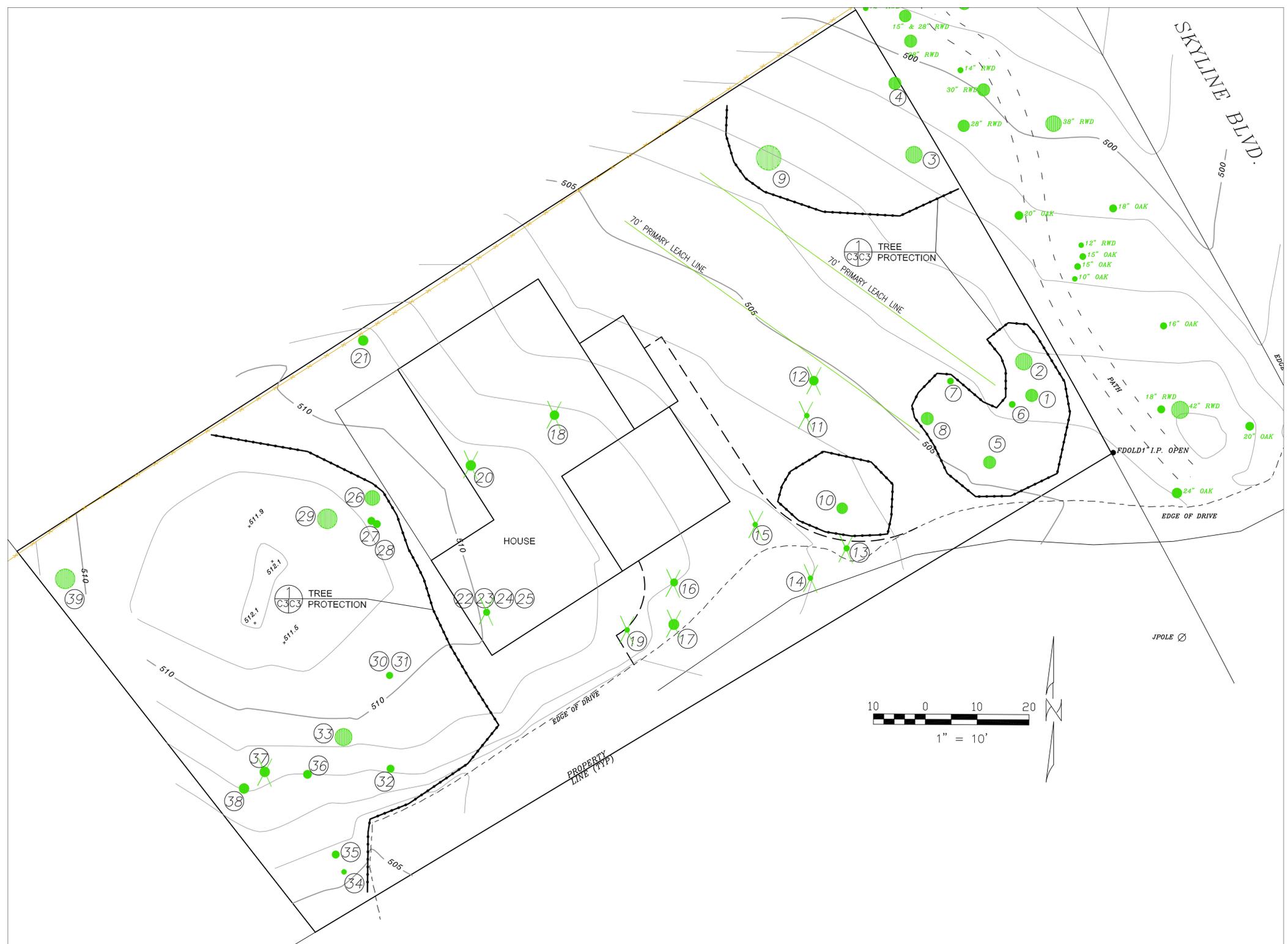


EAVE AND SOFFIT PROTECTION SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON EXPOSED UNDERSIDE.(R337.7.4 AND 337.7.5)

MINIMUM 1" CLEARANCE SHALL BE PROVIDED BETWEEN THE ATTIC INSULATION AND THE ROOF SHEATHING WHERE EAVE OR CORNICE VENTS ARE INSTALLED.

FIRE SEPARATION BETWEEN GARAGE AND HOUSE, IS MEANT TO ENCLOSE THE GARAGE SPACE. DOOR TO LIVING AREA MUST BE 1-3/8" SOLID CORE OR 20-MINUTE RATED DOOR. DOORS WILL BE SELF-CLOSING, WEATHER STRIPPED AND HAVE A POSITIVE LATCH. NO NON-APPROVED, NON-METALLIC PENETRATIONS ARE ALLOWED. SEPARATING WALLS AND BEARING WALLS, POSTS AND BEAMS SUPPORTING LIVING SPACE SHALL BE COVERED WITH 1/2" DRYWALL.

SECTION 'B'
 SCALE 1/4" = 1'-0"



NO.	TRUNK DIAM.	NAME
1	30"	SEQUOIA SEMPERVIRONS (REDWOOD)
2	40"	SEQUOIA SEMPERVIRONS (REDWOOD)
3	40"	SEQUOIA SEMPERVIRONS (REDWOOD)
4	32"	SEQUOIA SEMPERVIRONS (REDWOOD)
5	15"	SEQUOIA SEMPERVIRONS (REDWOOD)
6	32"	SEQUOIA SEMPERVIRONS (REDWOOD)
7	14"	LITHOCARPUS DENSIFLORUS (TAN OAK)
8	30"	SEQUOIA SEMPERVIRONS (REDWOOD)
9	60"	SEQUOIA SEMPERVIRONS (REDWOOD)
10	26"	SEQUOIA SEMPERVIRONS (REDWOOD)
11	12"	LITHOCARPUS DENSIFLORUS (TAN OAK)
12	22"	LITHOCARPUS DENSIFLORUS (TAN OAK)
13	14"	LITHOCARPUS DENSIFLORUS (TAN OAK)
14	12"	ARBUTUS MENZIESII (MADRONE)
15	12"	LITHOCARPUS DENSIFLORUS (TAN OAK)
16	18"	LITHOCARPUS DENSIFLORUS (TAN OAK)
17	26"	SEQUOIA SEMPERVIRONS (REDWOOD)
18	22"	LITHOCARPUS DENSIFLORUS (TAN OAK)
19	12"	LITHOCARPUS DENSIFLORUS (TAN OAK)
20	24"	SEQUOIA SEMPERVIRONS (REDWOOD)
21	24"	LITHOCARPUS DENSIFLORUS (TAN OAK)
22	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
23	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
24	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
25	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
26	36"	SEQUOIA SEMPERVIRONS (REDWOOD)
27	10"	SEQUOIA SEMPERVIRONS (REDWOOD)
28	18"	SEQUOIA SEMPERVIRONS (REDWOOD)
29	48"	SEQUOIA SEMPERVIRONS (REDWOOD)
30	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
31	16"	LITHOCARPUS DENSIFLORUS (TAN OAK)
32	18"	SEQUOIA SEMPERVIRONS (REDWOOD)
33	42"	SEQUOIA SEMPERVIRONS (REDWOOD)
34	12"	LITHOCARPUS DENSIFLORUS (TAN OAK)
35	18"	LITHOCARPUS DENSIFLORUS (TAN OAK)
36	20"	LITHOCARPUS DENSIFLORUS (TAN OAK)
37	24"	LITHOCARPUS DENSIFLORUS (TAN OAK)
38	24"	LITHOCARPUS DENSIFLORUS (TAN OAK)
39	48"	SEQUOIA SEMPERVIRONS (REDWOOD)

TREE TO BE REMOVED

- TREE PROTECTION NOTES**
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
 2. TREE PROTECTION FENCES SHALL BE INSTALLED AT LOCATIONS SHOWN. WHERE SPACE PERMITS, FENCING FOLLOWS OVERLAPPING DRIP LINES.
 3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
 4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
 5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
 6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



TREE PROTECTION PLAN

CERINI PROPERTY
13700 SKYLINE BLVD., WOODSIDE
APN 067-080-100

SHEET
C-3

DATE: 1-9-17
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593



County of San Mateo - Planning and Building Department

ATTACHMENT D



Project Site

San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:



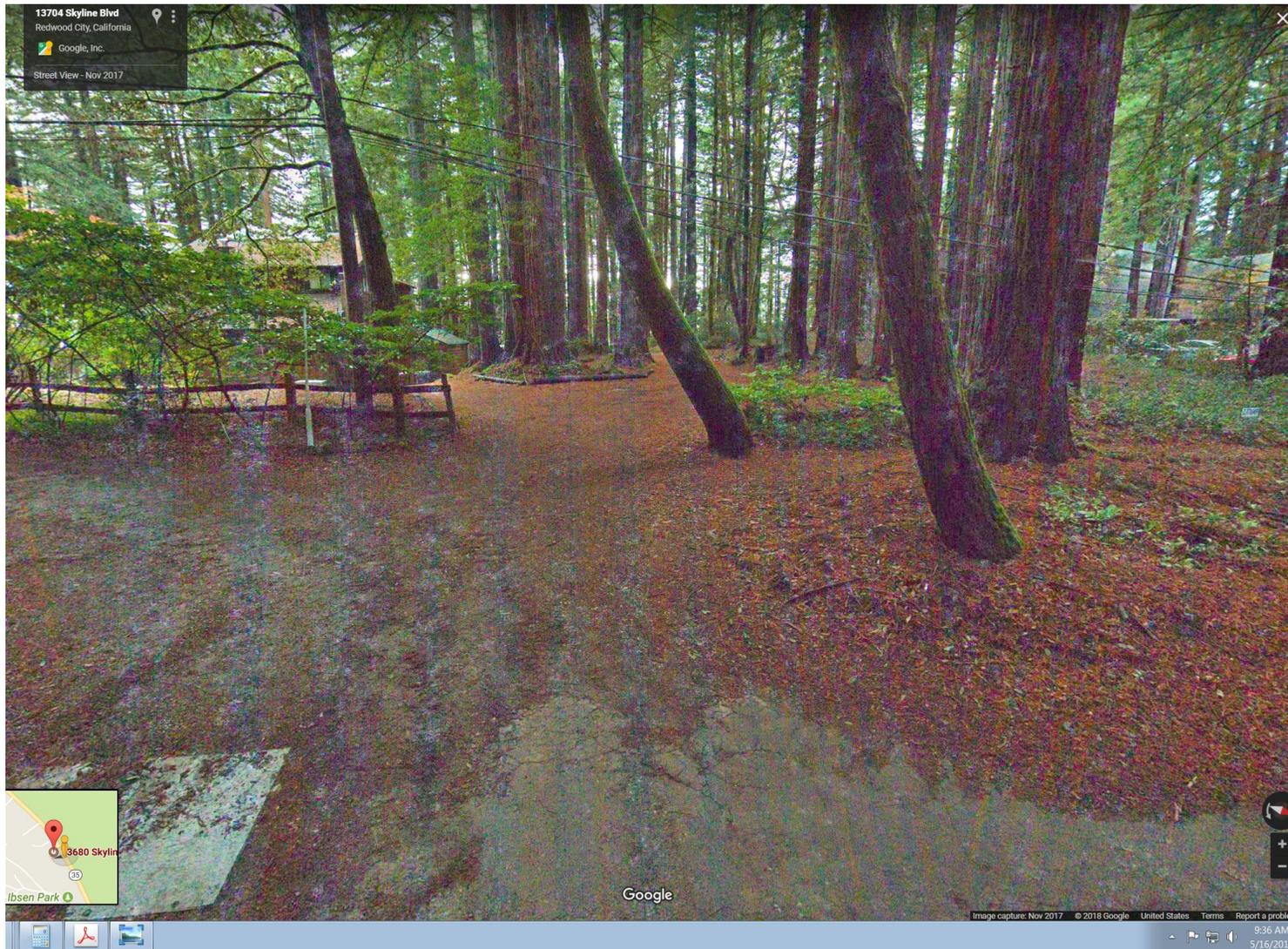
Driveway/Access Easement

San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:



Existing Driveway/ Access Easement

San Mateo County Planning Commission Meeting

Owner/Applicant:

Attachment:

File Numbers:



County of San Mateo - Planning and Building Department

ATTACHMENT E

County of San Mateo
Planning and Building Department

**INITIAL STUDY
ENVIRONMENTAL EVALUATION CHECKLIST**

1. **Project Title:** New Single-Family Residence on Skyline Boulevard (Cerini)
2. **County File Number:** PLN 2016-00363
3. **Lead Agency Name and Address:** County of San Mateo Planning and Building Department
455 County Center, 2nd Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Erica Adams, Project Planner, 650/363-1828
5. **Project Location:** 13700 Skyline Boulevard, unincorporated Woodside
6. **Assessor's Parcel Number and Size of Parcel:** APN 067-080-100; 17,772 sq. ft.
7. **Project Sponsor's Name and Address:** Kevin Cerini
550 Oak Park Way, Redwood City, CA 94062
8. **General Plan Designation:** Low Density Residential
9. **Zoning:** R-1/S-10 (Single-Family Residential/Minimum lot size 20,000 sq. ft.)
10. **Description of the Project:** Architectural Review Permit and Significant Tree Removal Permit for the construction of new 2,496 sq. ft. single-family residence on a legal 17,772 sq. ft. parcel. The proposed residence will take access from a shared driveway which has been established by two recorded easements that will be extended by 10 feet. The project also proposes to remove twelve (12) trees greater than 12" in diameter and will involve 20 cubic yards of grading. The parcel is located within Skyline Boulevard State Scenic corridor along of Skyline Boulevard which is designated a State scenic road.
11. **Surrounding Land Uses and Setting:** The subject parcel is undeveloped and is located on the west side of Skyline Boulevard. There are existing single-family residences on both sides of the subject parcel and along the west side of the street. The east side of Skyline Boulevard, opposite the property, is undeveloped woodlands and is part federal lands, state lands, and a County park. Skyline Boulevard is heavily wooded along the roadside with residential development behind trees.
12. **Other Public Agencies Whose Approval is Required:** None.
13. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, has consultation begun?:** *(NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental*

review process (see Public Resources Code Section 21083.3.2.). Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality).

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Significant Unless Mitigated" as indicated by the checklist on the following pages.

X	Aesthetics	X	Climate Change		Population/Housing
	Agricultural and Forest Resources		Hazards and Hazardous Materials		Public Services
X	Air Quality		Hydrology/Water Quality		Recreation
X	Biological Resources		Land Use/Planning		Transportation/Traffic
	Cultural Resources		Mineral Resources		Tribal Cultural Resources
	Geology/Soils	X	Noise		Utilities/Service Systems
					Mandatory Findings of Significance

EVALUATION OF ENVIRONMENTAL IMPACTS

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Negative Declaration: Less Than Significant with Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in 5. below, may be cross-referenced).

5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration (Section 15063(c)(3)(D)). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are “Less Than Significant with Mitigation Measures Incorporated,” describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources. Sources used or individuals contacted should be cited in the discussion.

1. AESTHETICS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
1.a. Have a significant adverse effect on a scenic vista, views from existing residential areas, public lands, water bodies, or roads?		X		
<p>Discussion: The project parcel is adjacent to Skyline Boulevard which is designated a State scenic road. The project would include the construction of a single-family residence with an attached garage, the removal of twelve (12) trees over 12” in diameter at breast height on the parcel, and approximately 20 cubic yards of grading for an undeveloped, wooded property. The proposed residential development also includes the installation of an individual waste disposal system which would be located in the front yard setback. The installation would include the trenching of septic leach lines within the 50-foot front yard setback, around mature trees that would remain after the completion of construction. The project has been designed so that above-ground development is not located in the front setback and complies with the zoning district. The proposed house would be located approximately 65 feet from the front property line.</p> <p>The subject parcel would be accessed from Skyline Boulevard via a shared driveway. The driveway lies partially on the subject property and partially on the neighboring parcel. This access was established via two recorded access easements with the neighboring property. The driveway improvements are limited to modifications to the existing driveway on the subject property beyond the front setback. A new 10-foot portion of the driveway which would serve the new residence, would be created primarily outside of the front setback which is the most visible from Skyline Boulevard. The utilization of the existing driveway from Skyline Boulevard minimizes the amount of grading and view impacts from Skyline Boulevard public right-of-way.</p>				

The house would be constructed with wood siding and wood shingles. It is proposed to be painted sage green with white trim and a grey shingle roof. The body of the house would be the color of natural wood. The proposed finished materials and colors would help the structure to blend in with the natural environment.

The retention of most of the existing mature trees along Skyline Boulevard and in the front setback will screen the residence from public view from Skyline Boulevard. The proposed residence is single-story structure which will be 23 feet in height. The residence would not to exceed the height of the tree canopy. The proposed residence would be partially visible from Skyline Boulevard as the trees would not fully screen the proposed residence from Skyline Boulevard, due to the existing tree pattern and thinning of some trees to accommodate the development including the driveway and house.

All construction activities would be conducted in a manner as to minimize impacts of the project as viewed from along Skyline Boulevard. Construction staging areas are located outside of the front yard setback. The applicant submitted a report from arborist Leon F. Folezal, dated December 12, 2017, which evaluated the impact construction activities will have on the remaining trees. The report includes tree protection measures which have been included as mitigation measures to ensure that the mature trees in the area survive and that the visual impact from the scenic corridor is minimized.

While the proposal substantially protects views from Skyline Boulevard and on-site trees, the following mitigation measures have been added to mitigate impacts to aesthetic resources to a less than significant level.

Mitigation Measure 1: Identify, establish and maintain six-foot (6) tree protection zones (TPZ) with fences on post in ground. Tree protection fences (TPF) are required to be 2' x 4s wrapped with orange snow fencing to minimize tractor blight, trauma wounds on trees within trafficked areas that do not have TPF. The TPZ's, tree protection zones, should be based on 1"/diameter inch at DBH. Fences should be installed at appropriate radii of trees to remain before any site preparation is done. 6' fences on posts in the ground is recommended with as necessary 2'X4's wrapped with orange snow fencing to minimize tractor blight, trauma wounds, on trees within trafficked areas that do not have TPZ fencing. Any work which is to be done in the TPZ shall be done after consultation with a certified arborist.

Mitigation Measure 2: Maintain tree protection zones free of equipment and materials storage. Contractors shall not clean any tools, forms or equipment within these areas.

Mitigation Measure 3: If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.

Mitigation Measure 4: A certified arborist should inspect the project site; 1) after TPZs are established, 2) after selection removal process is completed, 3) after primary grading, 4) during hand digging of the first 2 feet to expose any roots 1.5 inches or greater in diameter within the TPZs, (arborist should inspect the 1.5-inch roots before excision. Excision will be done with clean cuts and tree wound dressing applied.), 5) after foundation excavation, 6) after foundation forming and concrete pour, 7) during of hand digging of the top 2 feet for septic system and drainage system and retention basin, 8) after finish grading and before driveway preparation, 9) after driveway installation, and 10) before and after landscape design/installation.

Mitigation Measure 5: Six replacement trees, each a native species and a minimum of 15-gallon size, shall be planted in locations, as prescribed by the arborist, with the intent to whenever possible screen the development from Skyline Boulevard.

Mitigation Measure 6: The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site. In forested areas, all exterior construction materials shall be of deep earth hues such as dark browns, greens and rusts. Materials shall absorb light (i.e., dark, rough textured materials). Exterior lighting shall be minimized, and earth-tone colors of lights used (e.g., yellow, brown toned lights, rather than blue-toned fluorescents). In grassland, or grassland/forest areas, all exterior materials shall be of the same earth and vegetative tones as the predominant colors of the site (as determined by on-site inspections). Highly reflective surfaces and colors are discouraged.

Source: Project Plans, Project Location, San Mateo County Zoning Regulations.

1.b. Significantly damage or destroy scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?		X		
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Discussion: There are no historic buildings or rock outcroppings located on the site, and therefore they would not be affected. Tree protection is addressed by mitigations found in Section 1.a.

Source: Project Plans, Project Location.

1.c. Significantly degrade the existing visual character or quality of the site and its surroundings, including significant change in topography or ground surface relief features, and/or development on a ridgeline?			X	
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Discussion: The project site is relatively flat with an 8% slope and is not on a ridgeline. The project involves only a minimal amount of grading, and will create no change in topography. The road frontage for the parcel is approximately 100 feet wide and has an appearance similar to that of adjacent and surrounding frontages. The front setback of 50 feet from the Skyline Boulevard will remain mostly unchanged with the exception of two mature trees.

Source: Project Plans, Project Location.

1.d. Create a new source of significant light or glare that would adversely affect day or nighttime views in the area?		X		
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Discussion: The proposed single-family residence has the potential to emit light through windows and exterior lighting fixtures during nighttime hours. However, light emissions would not adversely affect nighttime views due to tree cover, and distance to both the scenic roadways and neighboring properties. The structures will not be finished in reflective materials or colors and are largely shielded from adjacent properties and Skyline Boulevard by the existing tree cover and topography resulting in minimal impacts to daytime views.

Source: Project Plans.

Mitigation Measure 7: All exterior lighting shall be directed downward and/or shielded.

1.e. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?		X							
<p>Discussion: See discussion in response to 1.a. Source: Project Plans, Project Location.</p>									
1.f. If within a Design Review District, conflict with applicable General Plan or Zoning Ordinance provisions?				X					
<p>Discussion: The project site is not located within a Design Review District. Source: San Mateo County Zoning Regulations, San Mateo County General Plan.</p>									
1.g. Visually intrude into an area having natural scenic qualities?			X						
<p>Discussion: Please refer to the discussion under 1a. Source: Project Plans.</p>									
<p>2. AGRICULTURAL AND FOREST RESOURCES. In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the State's inventory of forestland, including the Forest and Range Assessment Project and the Forest Legacy Assessment Project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. Would the project:</p>									
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th style="width:50%;"></th> <th style="width:12.5%;"><i>Potentially Significant Impacts</i></th> <th style="width:12.5%;"><i>Significant Unless Mitigated</i></th> <th style="width:12.5%;"><i>Less Than Significant Impact</i></th> <th style="width:12.5%;"><i>No Impact</i></th> </tr> </thead> </table>						<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
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2.a. For lands outside the Coastal Zone, convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X					
<p>Discussion: The subject property is not designated or mapped as farmland or used for agricultural purposes. The zoning on the subject parcel is single-family residential and the parcel is surrounded by single-family residential uses. Source: United States Department of Agriculture Natural Resources Conservation Service, California Department of Conservation.</p>									

2.b. Conflict with existing zoning for agricultural use, an existing Open Space Easement, or a Williamson Act contract?				X
<p>Discussion: The subject parcel is not zoned for agriculture and no agricultural uses occur on the site or immediate vicinity. There is no Open Space easement or Williamson Act contract on the subject parcel.</p> <p>Source: San Mateo County Zoning Regulations, San Mateo County General Plan, San Mateo County Williamson Act Contracts.</p>				
2.c. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forestland to non-forest use?				X
<p>Discussion: The subject parcel is not located in an area identified as Farmland or necessarily suitable of agricultural activities within the project area. The west side of Skyline Boulevard is developed with single-family residences and the east side of Skyline is open space owned by a variety of government agencies. The proposed project will not change or convert forestland.</p> <p>Source: U.S. Department of Agriculture Forest Service Forest Inventory Analysis 2005, Project Location, Project Plans.</p>				
2.d. For lands within the Coastal Zone, convert or divide lands identified as Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?				X
<p>Discussion: The project parcel is not located within the Coastal Zone.</p> <p>Source: Project Location.</p>				
2.e. Result in damage to soil capability or loss of agricultural land?				X
<p>Discussion: See discussion in under 2. a.</p> <p>Source: United States Department of Agriculture Natural Resources Conservation Service.</p>				

<p>2.f. Conflict with existing zoning for, or cause rezoning of, forestland (as defined in Public Resources Code Section 12220(g)), timberland (as defined by Public Resources Code Section 4526), or timberland zoned Timberland Production (as defined by Government Code Section 51104(g))?</p> <p><i>Note to reader: This question seeks to address the economic impact of converting forestland to a non-timber harvesting use.</i></p>				X
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Discussion: The subject parcel is zoned residential and a residential use is being proposed. No proposed zoning changes are included as part of this project.

Source: Project Plans, San Mateo County Zoning Regulations.

3. AIR QUALITY. Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
3.a. Conflict with or obstruct implementation of the applicable air quality plan?			X	

Discussion: The project involves construction and operation of a single-family residence. The Bay Area Air Quality Management District (BAAQMD) exempts construction and operation of residential uses from permit requirements (Regulation 2-1-113).

Source: Bay Area Air Quality Management District.

3.b. Violate any air quality standard or contribute significantly to an existing or projected air quality violation?				X
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Discussion: The project involves construction and operation of a single-family residence. BAAQMD exempts construction and operation of residential uses from permit requirements (Regulation 2-1-113).

Source: Project Plans, Bay Area Air Quality Management District.

3.c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable Federal or State ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
<p>Discussion: As of December 2012, San Mateo County is a non-attainment area for PM2.5. A temporary increase in the project area is anticipated during construction since PM2.5 particles are a typical vehicle emission. The temporary nature of the proposed construction and California Air Resources Board vehicle regulations reduce the potential effects to a less than significant impact.</p> <p>Source: Bay Area Air Quality Management District.</p>				
3.d. Expose sensitive receptors to significant pollutant concentrations, as defined by BAAQMD?				X
<p>Discussion: Residences are located within close proximity to the project area. However, no significant pollutant concentrates would be created by the project.</p> <p>Source: Project Plans, Google Maps.</p>				
3.e. Create objectionable odors affecting a significant number of people?				X
<p>Discussion: There are no aspects included as part of the project that are expected to emit odors affecting a significant number of people.</p> <p>Source: Project Plans.</p>				
3.f. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on-site or in the surrounding area?		X		
<p>Discussion: Project construction will generate a temporary increase in dust, motor vehicle and diesel particulate matter in the area. This temporary increase is not expected to violate existing standards of on-site air quality given the scope of the project and the required vehicle emission standards required by the State of California for vehicle operations. However, to mitigate for the temporary increase in dust, Mitigation Measure 3, below, is recommended.</p> <p>Source: Project Plans, Bay Area Air Quality Management, California Environmental Protection Agency Air Resources Board.</p> <p>Mitigation Measure 8: The following dust control measure notes shall be added to the plans at the building permit stage. The applicant shall implement the following dust control measures during grading and construction activities:</p> <p>a. Water all active construction and grading areas at least twice daily.</p>				

- b. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
- c. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
- d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
- e. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

4. BIOLOGICAL RESOURCES. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
4.a. Have a significant adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
<p>Discussion: The parcel is not within identified areas of protected species habitat on the California Department of Fish and Wildlife and U.S. Fish and Wildlife Service maps. No other State or Federal mapped protected species are located within the project area.</p> <p>Source: Project Plans, California Natural Diversity Database.</p>				
4.b. Have a significant adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?				X
<p>Discussion: There are no riparian habitats or other sensitive natural communities located within the project area.</p> <p>Source: Project Plans, San Mateo County General Plan.</p>				
4.c. Have a significant adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X

<p>Discussion: There are no wetlands located within the project area.</p> <p>Source: Project Plans, Project Location.</p>					
4.d.	Interfere significantly with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites?			X	
<p>Discussion: The parcel is part of low-density, single-family development, located amongst a number of large significant trees. The opposite side of Skyline Boulevard is a large undisturbed area. The vicinity is used by migratory wildlife, however the location of Skyline Boulevard presents an existing boundary. Migratory birds would only be minimally impacted due to tree removal due to the project's woodland location. The subject parcel is only 0.4 acres and adjacent to existing structures on both side. The construction of an approximately 2,500 square foot structure will have negligible impact on migratory fish or wildlife species. The scope of the project is largely confined to areas that have been previously disturbed and allows the majority of the parcel to remain undisturbed. Therefore, the project as proposed is not anticipated to pose a significant threat to native or migratory wildlife species.</p> <p>Source: Project Plans, Project Location.</p>					
4.e.	Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance (including the County Heritage and Significant Tree Ordinances)?			X	
<p>Discussion: The project involves the removal of ten tan oak trees, one redwood tree and one madrone tree greater than 12 inches in diameter. All of these trees are located in the footprint of development and the Significant Tree Ordinance does support removal based on this factor. None of the trees proposed to be removed are in the 50-foot front yard setback, which preserves the visual characteristics along Skyline Boulevard. In addition, the parcel is heavily wooded and the loss of the two trees does not result in a visible change as viewed from the scenic roadway.</p> <p>Source: Project Plans, Zoning Regulations, County Ordinance Code Sections 11,000 and 12,000.</p>					
4.f.	Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, other approved local, regional, or State habitat conservation plan?				X
<p>Discussion: There are no Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or State habitat conservation plans that cover the project parcel.</p> <p>Source: San Mateo County General Plan.</p>					
4.g.	Be located inside or within 200 feet of a marine or wildlife reserve?				X

<p>Discussion: The Purisima Creek Redwoods Open Space preserve is located within 200 feet of the project site to the rear of the project parcel. However, the proposed areas for development are not located inside of a marine or wildlife reserve.</p> <p>Source: Project Location, California Natural Diversity Database.</p>					
4.h.	Result in loss of oak woodlands or other non-timber woodlands?				X
<p>Discussion: Four trees, tan oaks, are proposed for removal. The trees to be removed are not located in the front yard setback area which is most visible from the scenic corridor.</p> <p>Source: Project Plans, Project Location.</p>					
<p>5. CULTURAL RESOURCES. Would the project:</p>					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
5.a.	Cause a significant adverse change in the significance of a historical resource as defined in CEQA Section 15064.5?				X
<p>Discussion: The project was referred to the California Historical Resources Information System. California State Parks Office of Historic Preservation. There were no known archaeological resources in the areas to be disturbed/developed.</p> <p>Source: Project Location, San Mateo County General Plan, California Historical Resources Information System.</p>					
5.b.	Cause a significant adverse change in the significance of an archaeological resource pursuant to CEQA Section 15064.5?		X		
<p>Discussion: There are no known archaeological resources in the disturbed/developed area.</p> <p>Source: Project Location, San Mateo County General Plan, California State Parks Office of Historic Preservation; Tribal Energy and Environmental Information Clearinghouse (TEEIC) https://teeic.indianaffairs.gov/er/oilgas/mitigation/culture/index.htm</p> <p>Mitigation Measure 9: An unexpected discovery of cultural resources during any phase of the project shall result in a work stoppage in the vicinity of the find until the resources can be evaluated by a professional archaeologist. Educate workers and the public on the consequences of unauthorized collection of artifacts.</p>					
5.c.	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?		X		

Discussion: No mapped unique paleontological resources are anticipated on site. If during any construction activity any resource is discovered, the mitigation measure below allow

Source: Project Location, San Mateo County General Plan, California State Parks Office of Historic Preservation; Tribal Energy and Environmental Information Clearinghouse (TEEIC), U.S. Geological Survey Geologic Map of the San Francisco Bay Region, 2006. <https://teeic.indianaffairs.gov/er/oilgas/mitigation/culture/index.htm>

Mitigation Measure 10: In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

5.d. Disturb any human remains, including those interred outside of formal cemeteries?				X
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Discussion: There are no known human remains in the developed/disturbed area.

Source: Project Location.

Mitigation Measure 11: The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

6. GEOLOGY AND SOILS. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
6.a. Expose people or structures to potential significant adverse effects, including the risk of loss, injury, or death involving the following, or create a situation that results in:				

<p>i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other significant evidence of a known fault?</p> <p><i>Note: Refer to Division of Mines and Geology Special Publication 42 and the County Geotechnical Hazards Synthesis Map.</i></p>				X
<p>Discussion: The submitted Sigma Prime geotechnical report, dated January 2017, states “The site is not located in an Alquist-Priolo Earthquake Fault Zone where fault rupture is considered likely (California Division of Mines and Geology, 1976). Therefore, active fault area is not believed to exist beneath the site, and the potential for fault rupture to occur at the site is considered low, in our opinion.” As stated previously the project will be completed in accordance with the California Building Code and per the recommendations of applicant’s engineer.</p> <p>Source: State of California Department of Conservation.</p>				
<p>ii. Strong seismic ground shaking?</p>			X	
<p>Discussion: The project parcel is located within an area designated with a susceptibility as violent for earthquake shaking. A soils report and a geotechnical investigation prepared by Sigma Prime and were submitted as part of the project’s review and received conditional approval by the County’s geotechnical section. The project will be subject to the issuance of a building permit and all work shall be completed in accordance with the California Building Code and recommendations made by the applicant’s engineer to ensure the health and safety of any occupants.</p> <p>Source: San Mateo County Earthquake Shaking Fault Maps (San Andreas Fault, Hayward Fault)</p>				
<p>iii. Seismic-related ground failure, including liquefaction and differential settling?</p>				X
<p>Discussion: The project parcel is located in an area identified as having very low probability for seismic-related ground failure.</p> <p>Source: U.S. Geological Survey Susceptibility Map of the San Francisco Bay Area (Map compiled from Knudsen and others, 2000, and Witter and others, 2005), Sigma Prime Geotechnical report dated, January 2017.</p>				
<p>iv. Landslides?</p>			X	
<p>Discussion: There are no known landslides in the vicinity based on U.S. Geological Survey Summary Distribution of Slides and Earth Flows in San Mateo County, California, 1997.</p> <p>Source: U.S. Geological Survey Summary Distribution of Slides and Earth Flows in San Mateo County, California, 1997.</p>				
<p>v. Coastal cliff/bluff instability or erosion?</p>				X

<p><i>Note to reader: This question is looking at instability under current conditions. Future, potential instability is looked at in Section 7 (Climate Change).</i></p>				
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Discussion: The project parcel is not located in such an area.
Source: Project Location.

<p>6.b. Result in significant soil erosion or the loss of topsoil?</p>		X		
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Discussion: In order to complete the driveway improvements and construct the new single family residence the project involves approximately 20 cubic yards of cut and fill activity. The project could result in temporary erosion impacts. Therefore, staff has included the following mitigation measures;

Source: Project Plans.

Mitigation Measure 12: The applicant shall include an erosion and sediment control plan to comply with the County’s Erosion Control Guidelines on the plans submitted for the Building Permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

Mitigation Measure 13: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval, an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for project activities.
- d. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.

- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
- l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
- m. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
- n. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.

6.c. Be located on expansive soil, as noted in the 2010 California Building Code, creating significant risks to life or property?				X
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Discussion: The project site is not identified as containing a geological unit or soil that is presently unstable. The Sigma Prime Geotechnical study evaluated the potential for geologic hazards to impact the site. The report concludes that the “likelihood of liquefaction occurring at the site is nil.” There is no expectation of encountering expansive soils which could result in a risk to life and/or property.

Source: Project Plans, Project Location, Sigma Prime Geotechnical Study dated January 2017.

6.d. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X
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Discussion: The project has been preliminarily reviewed by the San Mateo County Department of Environmental Health and has received conditional approval. The review completed by the Department of Environmental Health did not uncover any issue with the soils in which the septic wastewater system is to be located.

Source: Project Plans.

7. CLIMATE CHANGE. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
7.a. Generate greenhouse gas (GHG) emissions (including methane), either directly or indirectly, that may have a significant impact on the environment?		X		
<p>Discussion: A minor temporary increase in greenhouse gasses during the construction phase may occur. Construction vehicles are subject to California Air Resources Board emission standards. Although the project scope is not likely to significantly generate greenhouse gases, the following mitigation measure is recommended.</p> <p>Source: California Air Resources Board, San Mateo County Energy Efficiency Climate Action Plan.</p> <p>Mitigation Measure 14: The applicant shall implement the following basic construction measures at all times:</p> <ul style="list-style-type: none"> a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points. b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator. c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. 				
7.b. Conflict with an applicable plan (including a local climate action plan), policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?			X	
<p>Discussion: The project does not conflict with the San Mateo County Energy Efficiency Climate Action Plan provided that the mitigation measure outlined in Section 7.a, above is implemented.</p> <p>Source: San Mateo County Energy Efficiency Climate Action Plan.</p>				
7.c. Result in the loss of forestland or conversion of forestland to non-forest use, such that it would release significant amounts of GHG emissions, or significantly reduce GHG sequestering?			X	

<p>Discussion: See discussion under 2.c above.</p> <p>Source: Project Location.</p>					
7.d.	Expose new or existing structures and/or infrastructure (e.g., leach fields) to accelerated coastal cliff/bluff erosion due to rising sea levels?				X
<p>Discussion: The project site is located approximately 6.25 miles (as the crow flies) from the ocean and therefore is not located in within the coastal zone.</p> <p>Source: Project Location.</p>					
7.e.	Expose people or structures to a significant risk of loss, injury or death involving sea level rise?				X
<p>Discussion: The project is located approximately 6.25 miles from the nearest coastal bluff. Given the distance from the ocean and terrain between the project site and the ocean sea level rise is not expected to impact the project site.</p> <p>Source: Project Location.</p>					
7.f.	Place structures within an anticipated 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project is not located in such an area. The project site is located within a Flood Zone X (Areas with minimal risk outside the 1-percent and .2-percent-annual-chance floodplains. No base flood elevations or base flood depths are shown within these zones.); Community Panel No. 06081C0280E, effective October 16, 2012.</p> <p>Source: Federal Emergency Management Agency.</p>					
7.g.	Place within an anticipated 100-year flood hazard area structures that would impede or redirect flood flows?				X
<p>Discussion: The project is not located in such an area.</p> <p>Source: Federal Emergency Management Agency.</p>					

8. HAZARDS AND HAZARDOUS MATERIALS. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
8.a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials (e.g., pesticides, herbicides, other toxic substances, or radioactive material)?				X
<p>Discussion: No transport of hazardous materials is associated with this project.</p> <p>Source: Project Plans.</p>				
8.b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				X
<p>Discussion: The use of hazardous materials is not proposed as part of the project.</p> <p>Source: Project Plans.</p>				
8.c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				X
<p>Discussion: The emission of hazardous materials, substances, or waste are not proposed as part of the project.</p> <p>Source: Project Plans.</p>				
8.d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X
<p>Discussion: The project site is not located in an area identified as a hazardous materials site.</p> <p>Source: California Department of Toxic Substances Control.</p>				

8.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: The project is not located in such an area.</p> <p>Source: Project Location.</p>				
8.f. For a project within the vicinity of a private airstrip, result in a safety hazard for people residing or working in the project area?				X
<p>Discussion: The project is not located in such an area.</p> <p>Source: Project Location.</p>				
8.g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				X
<p>Discussion: No. The proposed project is located completely on a privately owned parcel. All improvements are located within the parcel boundaries and there is no expected impact to any such emergency response or evacuation plan.</p> <p>Source: San Mateo County Office of Emergency Services.</p>				
8.h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?			X	
<p>Discussion: The project is located within a moderate fire hazard severity zone. The project was reviewed by the San Mateo County Fire Authority (CAL-Fire) and received conditional approval of the project subject to site improvements which include driveway design and that sprinklers be installed in the new main residence.</p> <p>Source: CAL-Fire Fire Hazard Severity Zones Maps.</p>				
8.i. Place housing within an existing 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X
<p>Discussion: The project parcel is not located in such an area.</p>				

Source: Federal Emergency Management Agency Flood Insurance Rate Map 06081C0280E, Effective October 16, 2012.					
8.j.	Place within an existing 100-year flood hazard area structures that would impede or redirect flood flows?				X
Discussion: The project parcel is not located in such an area. Source: Federal Emergency Management Agency Flood Insurance Rate Map 06081C0280E, Effective October 16, 2012.					
8.k.	Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				X
Discussion: The project parcel is not located in a dam failure area. Source: San Mateo County General Plan Hazards Map.					
8.l.	Inundation by seiche, tsunami, or mudflow?				X
Discussion: The project parcel is not located an area subject to inundation. Source: San Mateo County General Plan Hazards Map.					
9. HYDROLOGY AND WATER QUALITY. Would the project:					
		Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
9.a.	Violate any water quality standards or waste discharge requirements (consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical stormwater pollutants (e.g., heavy metals, pathogens, petroleum derivatives, synthetic organics, sediment, nutrients, oxygen-demanding substances, and trash))?		X		
Discussion: Due to proposed grading the project has the potential to create sediment during grading and construction activities. Reference the discussion for 6.b. Source: Project Plans.					

<p>9.b. Significantly deplete groundwater supplies or interfere significantly with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?</p>				X
<p>Discussion: The proposed residence will be served by California Water Service. The project would not interfere with groundwater recharge or deplete groundwater supplies.</p> <p>Source: Project Plans.</p>				
<p>9.c. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner that would result in significant erosion or siltation on- or off-site?</p>			X	
<p>Discussion: The project involves minor alterations to the existing driveway in order to provide emergency access which complies with the applicable fire requirements. The proposed drainage plan has been found to comply with the County's Drainage Policy. The project does not significantly alter the drainage pattern of the site nor does it interfere with any watercourse as there is not one present on the site. Implementation of the approved drainage plan would minimize post-construction erosion.</p> <p>Source: Project plans.</p>				
<p>9.d. Significantly alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or significantly increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?</p>			X	
<p>Discussion: The proposed project includes measures to ensure that post-development run-off (peak flow) and velocity is less than or equal to pre-development levels in accordance with the San Mateo County Drainage policy. These measures have been preliminarily reviewed and it was determined that the project will not significantly alter the existing drainage pattern of the site and will not significantly increase the rate or amount of surface runoff on or off the site. The reviewed drainage plan design includes storm water systems to accommodate development runoff.</p> <p>Source: Project Plans.</p>				

9.e.	Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide significant additional sources of polluted runoff?				X
Discussion: See discussion under 9.c. and 9.d. Source: Project Plans.					
9.f.	Significantly degrade surface or ground-water water quality?				X
Discussion: See discussion under 6.b and 9b. Source: Project Plans.					
9.g.	Result in increased impervious surfaces and associated increased runoff?			X	
Discussion: See discussion under 9,c. and 9.d. Source: Project Plans.					
10. LAND USE AND PLANNING. Would the project:					
		<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
10.a.	Physically divide an established community?				X
Discussion: The project consists of the infill development of an existing residential neighborhood. Source: Project Plans.					
10.b.	Conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over the project (including, but not limited to, the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?			X	
Discussion: As designed and mitigated, the project is compliant with applicable land use regulations. Source: Project Plans, San Mateo County General Plan, and Zoning Regulations.					
10.c.	Conflict with any applicable habitat conservation plan or natural community conservation plan?				X

Discussion: There is no known conservation plan that covers the project parcel.				
Source: San Mateo County General Plan.				
10.d. Result in the congregating of more than 50 people on a regular basis?				X
Discussion: The proposed single-family residence does not propose a use that would result in the congregation of more than 50 people on a regular basis.				
Source: Project Plans.				
10.e. Result in the introduction of activities not currently found within the community?				X
Discussion: The project parcel does not introduce any new uses for the community, as the project proposes a residential use within an existing residential neighborhood.				
Source: Project Plans.				
10.f. Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?				X
Discussion: The project proposes improvements to serve only the subject property. These improvements are completely within the parcel boundaries of the subject property and do not serve to encourage off-site development of undeveloped areas or increase the development intensity of surrounding developed areas.				
Source: Project Plans.				
10.g. Create a significant new demand for housing?				X
Discussion: The construction of a single family residence does not create a demand for housing.				
Source: Project Plans.				
11. MINERAL RESOURCES. Would the project:				
	Potentially Significant Impacts	Significant Unless Mitigated	Less Than Significant Impact	No Impact
11.a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				X

<p>Discussion: Minor grading is proposed. No mineral extraction s proposed.</p> <p>Source: Project Plans.</p>				
11.b. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X
<p>Discussion: The site is not a mineral resource recovery site.</p> <p>Source: Project Plans, Project Location.</p>				
<p>12. NOISE. Would the project result in:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
12.a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		X		
<p>Discussion: During project construction, excessive noise could be generated, particularly during grading and excavation activities. Mitigation Measure 15 as described below is proposed to reduce the construction noise impact to a less than significant level. Once construction is complete, the project is not expected to generate significant amounts of noise.</p> <p>Source: Project Plans, San Mateo County Noise Ordinance</p> <p>Mitigation Measure 15: Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).</p>				
12.b. Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?				X
<p>Discussion: The project will consist of standard construction activities which will include construction of posts for the foundation of the house and decks. No pile driving would be involved. This activity is subject to the County's Noise Ordinance within restricted hours.</p> <p>Source: San Mateo County Noise Ordinance.</p>				
12.c. A significant permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				X

<p>Discussion: The proposed use a single family residence in a residential community. Ambient noise is a combination of roadway traffic and activity from surrounding residences. Nositie levels will not change significantly since they are the same or compatible with existing.</p> <p>Source: Project Scope.</p>				
12.d. A significant temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			X	
<p>Discussion: A temporary increase in ambient noise levels during the construction phase of the project is expected. However, due to the project scope, this is expected to limited. Post construction, the site should not result in any additional ambient noise.</p> <p>Source: Project Plans, San Mateo County Noise Ordinance.</p>				
12.e. For a project located within an airport land use plan or, where such a plan has not been adopted, within 2 miles of a public airport or public use airport, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project is not located in such an area.</p> <p>Source: Project Plans, Project Location.</p>				
12.f. For a project within the vicinity of a private airstrip, exposure to people residing or working in the project area to excessive noise levels?				X
<p>Discussion: The project is not located within the vicinity of a private airstrip.</p> <p>Source: Project Location.</p>				
<p>13. POPULATION AND HOUSING. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
13.a. Induce significant population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				X
<p>Discussion: All of the proposed improvements are completely within the subject parcel's boundaries and are sufficient only to serve it.</p> <p>Source: Project Plans.</p>				

13.b. Displace existing housing (including low- or moderate-income housing), in an area that is substantially deficient in housing, necessitating the construction of replacement housing elsewhere?				X
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Discussion: The site is vacant and would be developed with a single-family dwelling.

Source: Project Plans.

14. PUBLIC SERVICES. Would the project result in significant adverse physical impacts associated with the provision of new or physically altered government facilities, the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
14.a. Fire protection?				X
14.b. Police protection?				X
14.c. Schools?				X
14.d. Parks?				X
14.e. Other public facilities or utilities (e.g., hospitals, or electrical/natural gas supply systems)?				X

Discussion: No impact to public services as the project site is already developed.

Source: Project Plans.

15. RECREATION. Would the project:

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
15.a. Increase the use of existing neighborhood or regional parks or other recreational facilities such that significant physical deterioration of the facility would occur or be accelerated?				X

Discussion: The project involves the construction of one single-family residence within an existing residential subdivision and would not significantly increase the use of existing neighborhood or regional parks or other recreational facilities.

Source: Project Plans.

15.b. Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?				X
<p>Discussion: No recreational facilities are proposed as part of this project.</p> <p>Source: Project Plans.</p>				
<p>16. TRANSPORTATION/TRAFFIC. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
16.a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?				X
<p>Discussion: The project involves the construction of one single-family residence within an existing residential subdivision and will result in a temporary increase in traffic levels during construction and a negligible permanent increase in traffic levels after construction. Therefore, the project does not conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system.</p> <p>Source: Project Location.</p>				
16.b. Conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?				X
<p>Discussion: The project involves the construction of one single-family residence within an existing residential subdivision and will result in a temporary increase in traffic levels during construction and a negligible permanent increase in traffic levels after construction. Therefore, the project does not conflict with an applicable congestion management program.</p> <p>Source: Project Location.</p>				

16.c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in significant safety risks?				X
<p>Discussion: None proposed.</p> <p>Source: Project Plans, Project Location.</p>				
16.d. Significantly increase hazards to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?				X
<p>Discussion: The project involves the creation of a new driveway from Skyline Boulevard. The driveway has been reviewed and approved by the Department of Public Works and would not create a new traffic hazard.</p> <p>Source: Project Plans.</p>				
16.e. Result in inadequate emergency access?				X
<p>Discussion: The proposed improvements will provide adequate emergency access. The proposed plans have been reviewed and approved by CAL-Fire.</p> <p>Source: Project Plans.</p>				
16.f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				X
<p>Discussion: The proposed use is a private single-family residential use and would not require any new or impact existing public transit, bicycle, or pedestrian facilities.</p> <p>Source: Project Location.</p>				
16.g. Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?				X
<p>Discussion: The proposed use is a private single-family residential use and would not result in a noticeable increase in pedestrian traffic or a change in pedestrian patterns.</p> <p>Source: Project Plans.</p>				
16.h. Result in inadequate parking capacity?				X
<p>Discussion: No impact. The project site has existing parking which is compliant with the County's parking requirements.</p> <p>Source: Project Plans. San Mateo County Zoning Regulations.</p>				

17. TRIBAL CULTURAL RESOURCES. Would the project:				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
17.a. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place or cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:		X		
i. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)				
<p>Discussion: The project is not subject to Assembly Bill 52 for California Native American tribal consultation requirements, as no traditionally or culturally affiliated tribe has requested, in writing, to the County to be informed of proposed projects in the geographic project area. However, a “Sacred Lands File and Native American Contacts List Request” was sent to the Native American Heritage Council (NAHC), but as of the date of preparation of this document, no response has been received. Therefore, while the project is not expected to cause a substantial adverse change to any potential tribal cultural resources. the following mitigation measures are recommended to minimize any potential significant impacts to unknown tribal cultural resources:</p> <p>Implementation of Mitigation Measures 9, 10 and 11 and 16-18 listed below would prevent the project from having a significant impacts.</p> <p>Source: Project Plans, Native American Heritage Commission, State Assembly Bill 52.</p> <p>Mitigation Measure 16: Should any traditionally or culturally affiliated Native American tribe respond to the County’s issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project.</p> <p>Mitigation Measure 17: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.</p> <p>Mitigation Measure 18: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.</p>				
ii. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria		X		

<p>set forth in Subdivision (c) of Public Resources Code Section 5024.1. (In applying the criteria set forth in Subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)</p>				
<p>Discussion: No resource has been determined to be located on the subject parcel. If during construction activities, a resource is uncovered then the implementation of Mitigation Measures 11-13 and 16-18 below will prevent the impact from being significant.</p> <p>Source: Project Plans, Native American Heritage Commission, State Assembly Bill 52.</p>				
<p>18. UTILITIES AND SERVICE SYSTEMS. Would the project:</p>				
	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
<p>18.a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?</p>				X
<p>Discussion: While the State Water Resources Control Board regulates wastewater discharges, they do not currently have adopted statewide regulations for on-site wastewater treatment systems (i.e. septic systems). Given the rural nature of the project site, the subject parcel and surrounding community are not served by a municipal wastewater service provider. The site will be developed with an onsite wastewater treatment system. Currently, onsite wastewater treatment systems are regulated by local agencies. The County's Environmental Health Division has reviewed the proposed project and provided conditional approval based on the information submitted.</p> <p>Source: Project Plans, Project Location, San Francisco Bay Regional Water Quality Control Board.</p>				
<p>18.b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p>			X	
<p>Discussion: The project includes an on-site septic system and would not require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities.</p> <p>Source: Project Plans.</p>				
<p>18.c. Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p>			X	
<p>Discussion: In order to comply with San Mateo County's drainage policies, onsite stormwater measures are required to be installed in associate with the proposed project. These measures were designed by a licensed civil engineer and have been reviewed and preliminarily approved by</p>				

<p>the San Mateo County Department of Public Works. There is no indication that the installation of these measures would cause any significant environmental effects.</p> <p>Source: Project Plans.</p>				
18.d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				X
<p>Discussion: As mentioned previously, the property will be served by California Water Service. A new entitlement is required</p> <p>Source: Project Plans.</p>				
18.e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				X
<p>Discussion: No impact. The project site is not served by a municipal wastewater treatment provider.</p> <p>Source: Project Plans, Project Location.</p>				
18.f. Be served by a landfill with insufficient permitted capacity to accommodate the project's solid waste disposal needs?				X
<p>Discussion: The property receives municipal trash pick-up service and there is no indication at this time that the landfill utilized has insufficient capacity to continue to serve it.</p> <p>Source: Project Plans.</p>				
18.g. Comply with Federal, State, and local statutes and regulations related to solid waste?				X
<p>Discussion: The parcel is located in an area that is developed with residential uses and is served by a municipal solid waste management company. There is no expectation that the proposed use would result in waste production that would trigger compliance with Federal, State, and/or local statutes and regulations.</p> <p>Source: Project Plans.</p>				
18.h. Be sited, oriented, and/or designed to minimize energy consumption, including transportation energy; incorporate water conservation and solid waste reduction measures; and incorporate solar or other alternative energy sources?				X

Discussion: The proposed residential development will be required to comply with all currently applicable efficiency standards (i.e. Title-24, CAL-Green, etc.).
Source: Project Plans, CA Building Code.

18.i. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?				X
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Discussion: No. See discussion of utility usage in 18.a.-h. above.
Source: Project Plans.

19. MANDATORY FINDINGS OF SIGNIFICANCE.

	<i>Potentially Significant Impacts</i>	<i>Significant Unless Mitigated</i>	<i>Less Than Significant Impact</i>	<i>No Impact</i>
19.a. Does the project have the potential to degrade the quality of the environment, significantly reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?		X		

Discussion: Yes, as discussed in the Questions and Answers Section of this document, the project has the potential to impact biological resources in the area, specifically the removal of twelve trees greater than 12” in diameter, as discussed in Section 4 of this report. Implementation of mitigation measures included in this document would adequately reduce project impacts to a less than significant level.
Source: Project Plans.

19.b. Does the project have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)				X
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Discussion: The property will be improved with a residential development which is consistent with type and scale of the development in the area. Development is contained to the subject property and the proposed improvements do not result in significant alterations to the property and maintain the majority of the parcel in its natural state. There are known projects, active or planned, in the vicinity which would have impacts which would be cumulatively considerable. While mitigation

measures have been included in the project, these are to provide protections to ensure that the property's condition is maintained, there is not expectation that the project either contributes to or creates any cumulative impacts.

Source: Project Plans.

19.c. Does the project have environmental effects which will cause significant adverse effects on human beings, either directly or indirectly?		X		
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Discussion: As previously discussed, the project could result in environmental impacts that could both directly and indirectly cause impacts on human beings. However, implementation of mitigation measures included in this document would adequately reduce project impacts to a less than significant level.

Source: Project Plans.

RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		X	
State Water Resources Control Board		X	
Regional Water Quality Control Board		X	
State Department of Public Health		X	
San Francisco Bay Conservation and Development Commission (BCDC)		X	
U.S. Environmental Protection Agency (EPA)		X	
County Airport Land Use Commission (ALUC)		X	
CalTrans		X	
Bay Area Air Quality Management District		X	
U.S. Fish and Wildlife Service		X	
Coastal Commission		X	
City		X	
Sewer/Water District: California Water Service Company		X	
Other:			

MITIGATION MEASURES

	<u>Yes</u>	<u>No</u>
Mitigation measures have been proposed in project application.		X

Other mitigation measures are needed.	X	
<p>The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines</p> <p>Mitigation Measure 1: Identify, establish and maintain six-foot (6) tree protection zones (TPZ) with fences on post in ground. Tree protection fences (TPF) are required to be 2' x 4s wrapped with orange snow fencing to minimize tractor blight, trauma wounds on trees within trafficked areas that do not have TPF. The TPZ's, tree protection zones, should be based on 1'/diameter inch at DBH. Fences should be installed at appropriate radii of trees to remain before any site preparation is done. 6' fences on posts in the ground is recommended with as necessary 2'X4's wrapped with orange snow fencing to minimize tractor blight, trauma wounds, on trees within trafficked areas that do not have TPZ fencing. Any work which is to be done in the TPZ shall be done after consultation with a certified arborist.</p> <p>Mitigation Measure 2: Maintain tree protection zones free of equipment and materials storage. Contractors shall not clean any tools, forms or equipment within these areas.</p> <p>Mitigation Measure 3: If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.</p> <p>Mitigation Measure 4: A certified arborist should inspect site; 1) after TPZs are established, 2) after selection removal process is completed, 3) after primary grading, 4) during hand digging of the first 2 feet to expose any roots 1.5 inches or greater in diameter within the TPZs, (arborist should inspect the 1.5-inch roots before excision. Excision will be done with clean cuts and tree wound dressing applied.), 5) after foundation excavation, 6) after foundation forming and concrete pour, 7) during of hand digging of the top 2 feet for septic system and drainage system and retention basin, 8) after finish grading and before driveway preparation, 9) after driveway installation, and 10) before and after landscape design/installation.</p> <p>Mitigation Measure 5: Five replacement trees, each a native species and a minimum of 15-gallon size, shall be planted in locations, as prescribed by the arborist, with the intent to screen the development from Skyline Boulevard and have ensure growth.</p> <p>Mitigation Measure 6: The development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the site. In forested areas, all exterior construction materials shall be of deep earth hues such as dark browns, greens and rusts. Materials shall absorb light (i.e., dark, rough textured materials). Exterior lighting shall be minimized, and earth-tone colors of lights used (e.g., yellow, brown toned lights, rather than blue-toned fluorescents). In grassland, or grassland/forest areas, all exterior materials shall be of the same earth and vegetative tones as the predominant colors of the site (as determined by on-site inspections). Highly reflective surfaces and colors are discouraged.</p> <p>Mitigation Measure 7: All exterior lighting shall be directed downward and/or hooded.</p> <p>Mitigation Measure 8: The following dust control measure notes shall be added to the plans at the building permit stage. The applicant shall implement the following dust control measures during grading and construction activities:</p>		

- a. Water all active construction and grading areas at least twice daily.
- b. Cover all truck hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
- c. Apply water two times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas and staging areas at the project site.
- d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets/roads.
- e. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).

Mitigation Measure 9: An unexpected discovery of cultural resources during any phase of the project shall result in a work stoppage in the vicinity of the find until the resources can be evaluated by a professional archaeologist. Educate workers and the public on the consequences of unauthorized collection of artifacts.

Mitigation Measure 10: In the event that cultural, paleontological, or archaeological resources be encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).

Mitigation Measure 11: The property owner, applicant, and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

Mitigation Measure 12: The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the Building Permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

Mitigation Measure 13: Prior to commencement of the project, the applicant shall submit to the Planning Department for review and approval an erosion and drainage control plan that shows how the transport and discharge of soil and pollutants from and within the project site shall be minimized. The plan shall be designed to minimize potential sources of sediment, control the amount of runoff and its ability to carry sediment by diverting incoming flows and impeding internally generated flows, and retain sediment that is picked up on the project site through the use of sediment-capturing devices. The plan shall also limit application, generation, and migration of

toxic substances, ensure the proper storage and disposal of toxic materials, and apply nutrients at rates necessary to establish and maintain vegetation without causing significant nutrient runoff to surface waters. Said plan shall adhere to the San Mateo County Wide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Sequence construction to install sediment-capturing devices first, followed by runoff control measures and runoff conveyances. No construction activities shall begin until after all proposed measures are in place.
- b. Minimize the area of bare soil exposed at one time (phased grading).
- c. Clear only areas essential for project activities.
- d. Within five days of clearing or inactivity, stabilize bare soils through either non-vegetative BMPs, such as mulching, or vegetative erosion control methods such as seeding. Vegetative erosion control shall be established within two weeks of seeding/planting.
- e. Project site entrances shall be stabilized immediately after grading and frequently maintained to prevent erosion and control dust.
- f. Control wind-born dust through the installation of wind barriers such as hay bales and/or sprinkling.
- g. Soil and/or other construction-related material stockpiled on-site shall be placed a minimum of 200 feet from all wetlands and drain courses. Stockpiled soils shall be covered with tarps at all times of the year.
- h. Intercept runoff above disturbed slopes and convey it to a permanent channel or storm drains by using earth dikes, perimeter dikes or swales, or diversions. Use check dams where appropriate.
- i. Provide protection for runoff conveyance outlets by reducing flow velocity and dissipating flow energy.
- j. Install storm drain inlet protection that traps sediment before it enters any adjacent storm sewer systems. This barrier shall consist of filter fabric, straw bales, gravel, or sand bags.
- k. Install sediment traps/basins at outlets of diversions, channels, slope drains, or other runoff conveyances that discharge sediment-laden water. Sediment traps/ basins shall be cleaned out when 50% full (by volume).
- l. Use silt fence and/or vegetated filter strips to trap sediment contained in sheet flow. The maximum drainage area to the fence should be 0.5-acre or less per 100 feet of fence. Silt fences shall be inspected regularly and sediment removed when it reaches 1/3 the fence height. Vegetated filter strips should have relatively flat slopes and be vegetated with erosion-resistant species.
- m. Utilize coir fabric/netting on sloped graded areas to provide a reduction in water velocity, erosive areas, habitat protection, and topsoil stabilization.
- n. Throughout the construction period, the applicant shall conduct regular inspections of the condition and operational status of all structural BMPs required by the approved Erosion Control Plan.

Mitigation Measure 14: The applicant shall implement the following basic construction measures at all times:

- a. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California Airborne Toxic Control

Measure Title 13, Section 2485 of California Code of Regulations [CCR]). Clear signage shall be provided for construction workers at all access points.

- b. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified visible emissions evaluator.
- c. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person, or his/her designee, shall respond and take corrective action within 48 hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.

Mitigation Measure 15: Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).

Mitigation Measure 16: Should any traditionally or culturally affiliated Native American tribe respond to the County's issued notification for consultation, such process shall be completed and any resulting agreed upon measures for avoidance and preservation of identified resources be taken prior to implementation of the project.

Mitigation Measure 17: In the event that tribal cultural resources are inadvertently discovered during project implementation, all work shall stop until a qualified professional can evaluate the find and recommend appropriate measures to avoid and preserve the resource in place, or minimize adverse impacts to the resource, and those measures shall be approved by the Current Planning Section prior to implementation and continuing any work associated with the project.

Mitigation Measure 18: Any inadvertently discovered tribal cultural resources shall be treated with culturally appropriate dignity taking into account the tribal cultural values and meaning of the resource, including, but not limited to, protecting the cultural character and integrity of the resource, protecting the traditional use of the resource, and protecting the confidentiality of the resource.

DETERMINATION (to be completed by the Lead Agency).

On the basis of this initial evaluation:

I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Department.

I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.

I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

(Signature)

Date

(Title)

Attachments:

- A. Project plans
- B. Arborist report by Leon F. Dolzal, dated June 12, 2017
- C. Geotechnical Study by Sigma Prime Geosciences, Inc, dated January 2017

EDA:aow – EDACC0007_WAH.DOCX

DOLEZAL

TREE SURGERY INC.

LEON F. DOLEZAL 1590 Cordilleras Rd.
366-5986 Redwood City, Calif. 94062

License #663569 • Certification #WC-1721



Mr. Kevin Cerini
2551 Hillside Blvd.
Colma, CA. 94014

12-12-17

Reference: 13700 Skyline Blvd., Woodside, Ca. 94062

Mr. Cerini,

The attached Tree Protection Plan and Inventory states the recommended inspection protocols for a certified arborist to assist in tree protection for a project like yours.

The referenced publications and inspections are explicit.

Any work to be done within a TPZ requires consultation with a certified arborist first.

Any excavation within a TPZ, is to be done manually for the first 2' and have a certified arborist inspect for potential roots.

Beyond 2' in depth, the arborist is to be appraised of any roots over 1.5" in diameter that may be exposed, before they are excised.

In this forested environment, I expect to find roots within 2' of the surface and may find roots deeper.

THE TREES DO NOT READ THE BOOK. Subsequently, the inspection protocols.

The septic system as drawn, is minimally impactful on remaining trees, with the exception of #9, the Candelabra Tree. This tree should be removed because of structural deficiencies, multi top.

With this tree removed, the leach lines and dispersion basin can be installed with minimal impact on remaining trees.

Sincerely,

Leon F. Dolezal
International Society of Arboriculture
Certification #WE-1721A

Mr. Kevin Cerini

12-23-16

2551 Hillside Blvd.

Colma, Ca. 94014

Reference: 13700 Skyline Blvd., Woodside, Ca. 94062

Tree Protection Plan and Inventory

The following is an inventory of 10"+DBH trees on site and a tree protection plan for potential construction of a new house on site.

The lot is heavily wooded with *Sequoia sempervirens* and *Lithocarpus densiflorus* as the primary species. One *Arbutus menziesii* was inventoried.

The tree protection plan is based on:

"Trees and Development", Matheny and Clark, 1998

"Tree Technical Manual", City of Palo Alto, Dave Doktor.2001

"Tree Preservation Guidelines, Town of Atherton, 2004

The TPZ's, tree protection zones, should be based on 1'/diameter inch at DBH. Fences should be installed at appropriate radii of trees to remain before any site preparation is done. 6' fences on posts in the ground is recommended with as necessary 2X4's wrapped with orange snow fencing to minimize tractor blight, trauma wounds, on trees within trafficked areas that do not have TPZ fencing.

The TPZ's are NOT to be storage, parking, or dumping areas.

All construction effluents should be captured and disposed off site as dictated by San Mateo County.

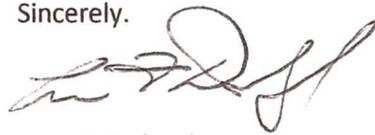
Selective removal of dead trees or trees within the building footprint is then appropriate.

The remaining trees should be evaluated for structural deficiencies and appropriate pruning or selective removal considered. For example, Redwood #9 has a candelabra top prompted by a broken top or topping cut. This prompted a substandard structure and hazard potential. This particular tree is distal from the building site and can be addressed at a later date.

A certified arborist should inspect site:

- after TPZ's are established.
- after selective removal process is completed.
- after primary grading.
- hand digging the first 2' is recommended to expose any roots 1.5" or greater in diameter within the TPZ's. Arborist should inspect the 1.5"+ roots before excision. Excision will be done with clean cuts and tree wound dressing applied.
- after foundation excavation.
- after foundation forming and concrete pour.
- septic system and drainage system with retention basin all require inspection and hand digging in top 2'.
- after finish grading and before driveway preparation.
- after driveway installation.
- before and after landscape design/installation.

Sincerely,



Leon F. Dolezal

International Society of Arboriculture

Registration #2175

Certification #WE-1721A

Contractors State License #663569

Dept of Pesticide Regulation #100889

Woodside Business License #DOL0001

Calif. Landscape Contractors Assn #1152

NOTE:

The rough prune recommendation is based on county specs and standards in the county park system.

This is elective and a risk management concept.

NOTE:

The Tanoaks are notoriously prone to SOD, Sudden Oak Death. Consideration should be given to SOD prevention protocols as per State of California, Oak Mortality Task Force, recommendations.

Sincerely,



Leon F. Dolezal

International Society of Arboriculture

Registration #2175

Certification #WE-1721A

Contractors State License #663569

Dept. of Pesticide Regulation #100889

Woodside Business License #DOL0001

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Mr. Kevin Cerini

12-23-16

2551 Hillside Blvd.

Colma, CA. 94014

Reference: 13700 Skyline Blvd, Woodside, Ca. 94062

Tree Inventory, 10"+DBH trees on site.

Tree #	Specie	DBH	Condition	Recommendation
1	Sequoia sempervirens(SS)	30"	normal	rough prune (1"+ deadwood removal)
2	SS	40"	normal	rough prune (RP)
3	SS	40"	normal	RP
4	SS	32"	normal	RP
5	SS	15"	normal	RP
6	SS	32"	normal	RP
7	Lithocarpus densiflorus (LD)	14"	normal	RP
8	SS	30"	normal	RP
9	SS	60"	normal	check top structure, RP
10	SS	26"	normal	RP
11	LD	12"	normal	Remove(C&K) building footprint
12	LD	22"	normal	C&K, building footprint
13	LD	14"	dead	C&K,dead
14	Arbutas menziesii	12"	dead/dying	C&K, dead/dying
15	LD	12"	stump	---
16	LD	18"	bifurcated	C&K, building footprint

Tree #	Specie	DBH	Condition	Recommendation
17	SS	26"	stump	---
18	LD	22"	normal	C&K, building footprint
19	LD	12"	normal	C&K, building footprint
20	SS	24"	normal	C&K, building footprint
21	LD	24"	normal	RP
22	LD	16"	normal	C&K, building footprint
23	LD	16"	normal	C&K, building footprint
24	LD	16"	normal	C&K, building footprint
25	LD	16"	normal	C&K, building footprint
26	SS	36"	normal	RP
27	SS	10"	normal	RP
28	SS	18"	normal	RP
29	SS	48"	normal	RP
30	LD	16"	bifurcated	RP
31	LD	16"	normal	RP
32	SS	18"	normal	RP
33	SS	42"	normal	RP
34	LD	12"	normal	RP
35	LD	18"	normal	RP
36	LD	20"	normal	RP
37	LD	24"	dead	C&K
38	LD	24"	normal	RP
39	SS	48"	normal	RP

PW2016-06363



Sigma Prime Geosciences, Inc.
Effective Solutions

GEOTECHNICAL STUDY

**CERINI PROPERTY
13700 SKYLINE BOULEVARD
WOODSIDE, CALIFORNIA**

**PREPARED FOR:
CHARLES CERINI
550 OAK PARK WAY
REDWOOD CITY, CALIFORNIA 94062**

**PREPARED BY:
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CALIFORNIA 94019**

JANUARY, 2017

RECEIVED

JAN 18 2017

**San Mateo County
Planning and Building Department**



Sigma Prime Geosciences, Inc.
Effective Solutions

January 11, 2017

Charles Cerini
550 Oak Park Way
Redwood City, CA 94062

Re: Geotechnical Report for Proposed Home: Cerini Residence, 13700 Skyline
Boulevard, Woodside, California.
Sigma Prime Geosciences Job No. 16-131

Dear Mr. Cerini:

As per your request, we have performed a geotechnical study for the proposed home at 13700 Skyline Boulevard, Woodside, California. The accompanying report summarizes the results of our field study and engineering analyses, and presents geotechnical recommendations for the planned work.

Thank you for the opportunity to work with you on this project. If you have any questions concerning our study, please call.

Yours,

Sigma Prime Geosciences, Inc.

Charles M. Kissick, P.E.





**GEOTECHNICAL STUDY
CERINI RESIDENCE
13700 SKYLINE BOULEVARD
WOODSIDE, CALIFORNIA**

**PREPARED FOR:
CHARLES CERINI
550 OAK PARK WAY
REDWOOD CITY, CA 94062**

**PREPARED BY:
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CALIFORNIA 94019**

JANUARY 11, 2017



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FIGURE 1 - LOCATION MAP

FIGURE 2 - SITE MAP

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APPENDIX A - SUBSURFACE STUDY



1. INTRODUCTION

We are pleased to present this geotechnical study report for the proposed home at 13700 Skyline Boulevard, Woodside, California, at the location shown in Figure 1. The purpose of this study was to evaluate the subsurface conditions at the site, and to provide geotechnical design recommendations for the proposed construction.

1.1 PROJECT DESCRIPTION

We understand that you plan to build a single family residence. It will be a single-story dwelling of about 1735 square feet. Structural loads will be very light.

1.2 SCOPE OF WORK

The scope of work for this study was presented in our proposal dated April 21, 2016. In order to complete this project we have performed the following tasks:

- Reviewed published information on the geologic and seismic conditions in the site vicinity;
- Geologic site reconnaissance and 1 soil boring;
- Engineering analysis and evaluation of the subsurface data to develop geotechnical design criteria; and
- Preparation of this report presenting our recommendations for the proposed structure.



2. FINDINGS

2.1 GENERAL

The site reconnaissance and subsurface study were performed on May 20, 2016. The subsurface study consisting of drilling 1 soil boring to a depth of 7 feet. The boring location is shown in Figure 2. The boring log is attached in Appendix A.

2.2 SITE CONDITIONS

At the time of our study, the site was undeveloped. The lot surrounding the proposed building site is vegetated with numerous redwood and tanoak trees, shrubs, and ivy. The lot slopes gently to the east.

2.3 REGIONAL AND LOCAL GEOLOGY

Based on Brabb et al (1998), the site vicinity is primarily underlain by sandstone units of the middle and lower Eocene age Whiskey Hill formation. The sandstone is described as coarse grained and arkosic.

2.4 SITE SUBSURFACE CONDITIONS

Based on the soil boring, the subsurface conditions at the site consist of 1 to 2 feet of leaf litter overlying weak but very dense sandstone. The leaf litter is highly decomposed, with small amounts of clayey material. Scattered sandstone outcrops occur locally at the ground surface and in road cuts. The sandstone is highly weathered in the upper few feet, becoming less weather and stronger at a depth of about 4 feet.

2.5 GROUNDWATER

No groundwater was encountered at the time of soil sampling. Groundwater levels are not expected to have an impact on the construction.

2.6 FAULTS AND SEISMICITY

The site is in an area of high seismicity, with active faults associated with the San Andreas fault system. The closest active fault to the site is the San Andreas fault, located about 4 km to the east. Other faults most likely to produce significant seismic ground motions include the San Gregorio, Hayward, Rodgers Creek, and Calaveras faults. Selected historical earthquakes in the area with an estimated magnitude greater than 6-1/4, are presented in Table 1 below.



**TABLE 1
HISTORICAL EARTHQUAKES**

<u>Date</u>	<u>Magnitude</u>	<u>Fault</u>	<u>Locale</u>
June 10, 1836	6.5 ¹	San Andreas	San Juan Bautista
June 1838	7.0 ²	San Andreas	Peninsula
October 8, 1865	6.3 ²	San Andreas	Santa Cruz Mountains
October 21, 1868	7.0 ²	Hayward	Berkeley Hills, San Leandro
April 18, 1906	7.9 ³	San Andreas	Golden Gate
July 1, 1911	6.6 ⁴	Calaveras	Diablo Range, East of San Jose
October 17, 1989	7.1 ⁵	San Andreas	Loma Prieta, Santa Cruz Mountains
(1)	Borchardt & Topozada (1996)		
(2)	Topozada et al (1981)		
(3)	Petersen (1996)		
(4)	Topozada (1984)		
(5)	USGS (1989)		

2.7 2016 CBC EARTHQUAKE DESIGN PARAMETERS

Based on the 2016 California Building Code (CBC) and our site evaluation, we recommend using Site Class Definition C (soft rock) for the site. The other pertinent CBC seismic parameters are given in Table 2 below.

**Table 2
CBC SEISMIC DESIGN PARAMETERS**

S_s	S₁	F_a	F_v	S_{MS}	S_{M1}	S_{DS}	S_{D1}
2.215	1.057	1.0	1.3	2.215	1.374	1.477	0.916

Because the S₁ value is greater than 0.75, Seismic Design Category E is recommended, per CBC Section 1613.5.6. The values of S_s and S₁ in the table above were obtained from a USGS software program which provides the values based on the latitude and longitude of the site, and the Site Class Definition. The latitude (37.4404) and longitude (-122.3243) were accurately obtained from Google Earth™. These same values can be obtained directly from maps in the CBC, however the scale of the map makes it impractical to achieve satisfactory accuracy. The map in the CBC was derived from the same work that led to the USGS software. The remaining parameters were also obtained by the same USGS program.



3. CONCLUSIONS AND RECOMMENDATIONS

3.1 GENERAL

It is our opinion that, from a geotechnical viewpoint, the site is suitable for the proposed construction, provided the recommendations presented in this report are followed during design and construction. Detailed recommendations are presented in the following sections of this report.

Because subsurface conditions may vary from those encountered at the location of our borings, and to observe that our recommendations are properly implemented, we recommend that we be retained to 1) Review the project plans and structural calculations for conformance with our report recommendations and 2) Observe and test the earthwork and foundation installation phases of construction.

3.2 GEOLOGIC HAZARDS

We reviewed the potential for geologic hazards to impact the site, considering the geologic setting, and the soils encountered during our investigation. The results of our review are presented below:

- Fault Rupture - The site is not located in an Alquist-Priolo Earthquake Fault Zone where fault rupture is considered likely (California Division of Mines and Geology, 1976). Therefore, active faults are not believed to exist beneath the site, and the potential for fault rupture to occur at the site is considered low, in our opinion.
- Ground Shaking - The site is located in an active seismic area. Moderate to large earthquakes are probable along several active faults in the greater Bay Area over a 30 to 50 year design life. Strong ground shaking should therefore be expected several times during the design life of the structure, as is typical for sites throughout the Bay Area. The improvements should be designed and constructed in accordance with current earthquake resistance standards.
- Differential Compaction - Differential compaction occurs during moderate and large earthquakes when soft or loose, natural or fill soils are densified and settle, often unevenly across a site. In our opinion, due to the favorable condition of the underlying shallow rock, the likelihood of significant damage to the structure from differential compaction is nil.
- Liquefaction - Liquefaction occurs when loose, saturated sandy soils lose strength and flow like a liquid during earthquake shaking. Ground



settlement often accompanies liquefaction. Soils most susceptible to liquefaction are saturated, loose, silty sands, and uniformly graded sands. The soils at the site are leaf litter over shallow. Therefore, in our opinion, the likelihood of liquefaction occurring at the site is nil.

3.3 EARTHWORK

3.3.1 Clearing & Subgrade Preparation

All deleterious materials, including, topsoil, roots, vegetation, designated utility lines, etc., should be cleared from building areas. The actual stripping depth required will depend on site usage prior to construction, and should be established by the Contractor during construction. Topsoil may be stockpiled separately for later use in landscaping areas.

3.3.2 Surface Drainage

The finish grades should be designed to drain surface water away from foundations areas, to suitable discharge points. Slopes of at least 5 percent within 10 feet (as space permits) of the structures are recommended. Ponding of water should not be allowed adjacent to the structure. We recommend that all downspouts be connected to buried solid pipes that convey water to a safe location away from the house.

3.4 FOUNDATIONS

We recommend that the foundation be designed as conventional continuous spread footings, bearing in the sandstone. Footings should have a minimum width of 12 inches, and extend at least 6 inches into the sandstone.

Footings should be designed for allowable bearing pressures of 3,000 pounds per square foot for dead plus live loads, with a one-third increase allowed for total loads including wind or seismic forces.

All footings located adjacent to utility lines or other footings should bear below a 1:1 plane extended upward from the bottom edge of the utility trench or footing. All continuous footings should be reinforced with top and bottom steel to provide structural continuity and to permit spanning of local irregularities. Our representative should observe the footing excavations prior to placing reinforcing steel to see that they are founded in suitable materials and have been properly cleaned.



3.4.1 Lateral Loads

A passive pressure equivalent to that provided by a fluid weighing 300 pcf and a friction factor of 0.3 may be used to resist lateral forces and sliding against spread footing foundations. These values include a safety factor of 1.5 and may be used in combination without reduction. Passive pressures should be disregarded for the uppermost 12 inches of foundation depth, measured below the lowest adjacent finished grade, unless confined by concrete slabs or pavements. However, the pressure distribution may be computed from the ground surface.

3.5 CONSTRUCTION OBSERVATIONS AND TESTING

The earthwork and foundation phases of construction should be observed and tested by us to 1) Establish that subsurface conditions are compatible with those used in the analysis and design; 2) Observe compliance with the design concepts, specifications and recommendations; and 3) Allow design changes in the event that subsurface conditions differ from those anticipated. The recommendations in this report are based on a limited number of borings. The nature and extent of variation across the site may not become evident until construction. If variations are then exposed, it will be necessary to reevaluate our recommendations.



4. LIMITATIONS

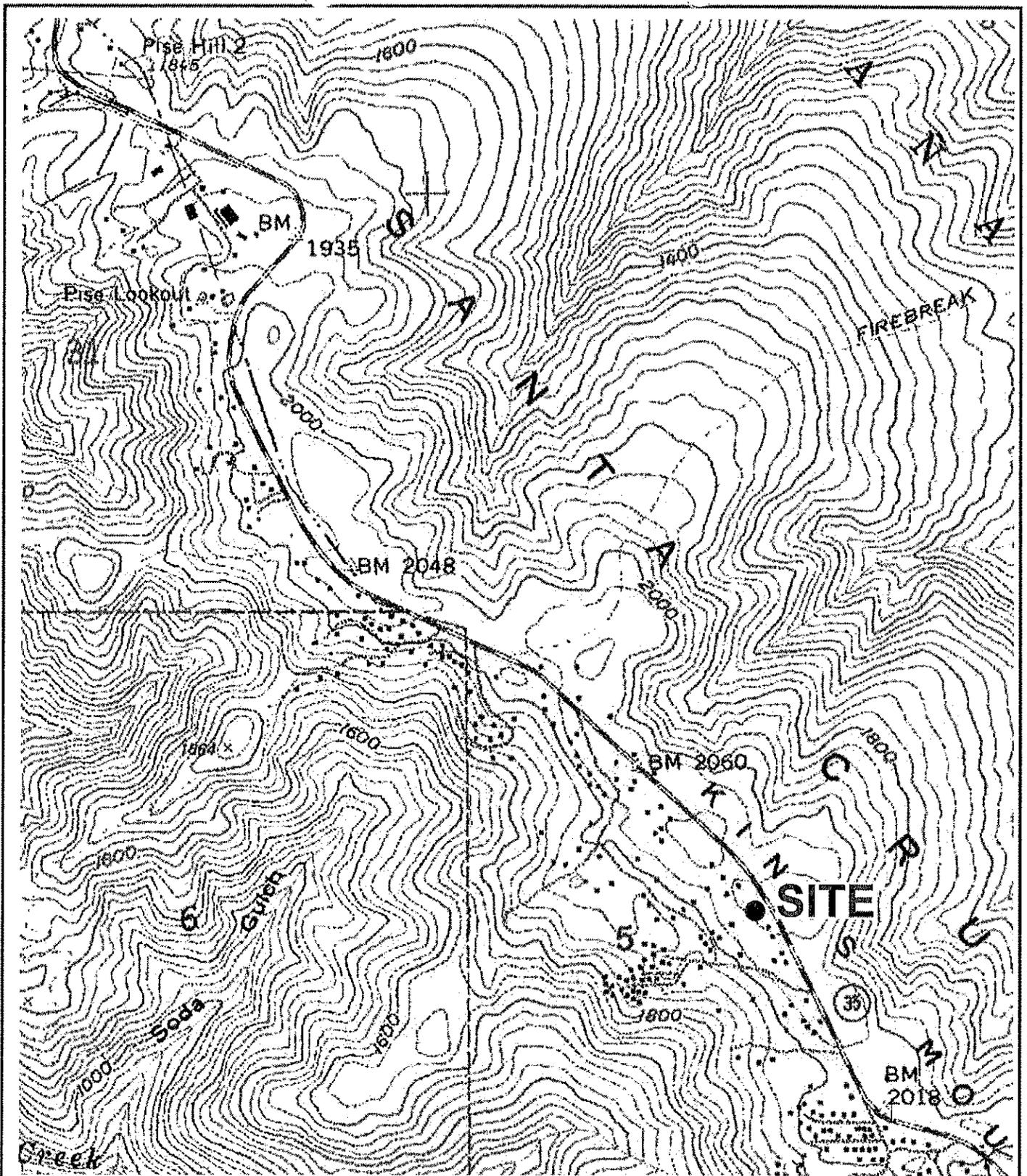
This report has been prepared for the exclusive use of the property owners for specific application in developing geotechnical design criteria for the currently planned construction located at 13700 Skyline Boulevard in Woodside, California. We make no warranty, expressed or implied, except that our services were performed in accordance with geotechnical engineering principles generally accepted at this time and location. The report was prepared to provide engineering opinions and recommendations only. In the event that there are any changes in the nature, design or location of the project, or if any future improvements are planned, the conclusions and recommendations contained in this report should not be considered valid unless 1) The project changes are reviewed by us, and 2) The conclusions and recommendations presented in this report are modified or verified in writing.

The analyses, conclusions and recommendations contained in this report are based on site conditions as they existed at the time of our study; the currently planned improvements; review of previous reports relevant to the site conditions; and laboratory results. In addition, it should be recognized that certain limitations are inherent in the evaluation of subsurface conditions, and that certain conditions may not be detected during a study of this type. Changes in the information or data gained from any of these sources could result in changes in our conclusions or recommendations. If such changes do occur, we should be advised so that we can review our report in light of those changes.



5. REFERENCES

- Borchardt, G. and Topozada, T.R., 1996, Relocation of the "1836 Hayward Fault Earthquake" to the San Andreas Fault, Abstracts, American Geophysical Union Fall Meeting, December, San Francisco.
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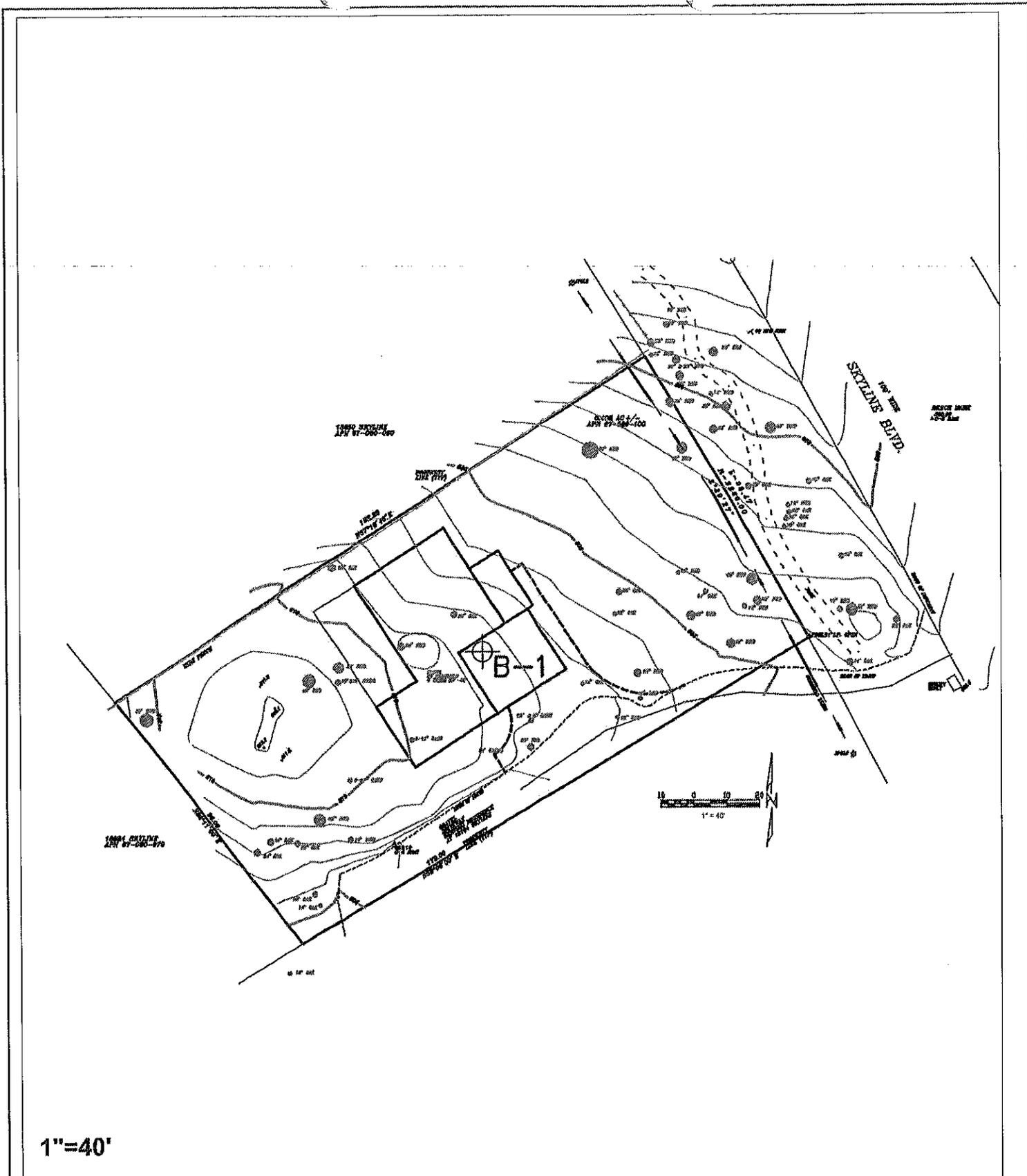


Sigma Prime Geosciences, Inc.

Figure	1
Date:	1/11/17
Job No.:	16-131

Location Map

Cerini Property, 13700 Skyline Blvd., Woodside



1"=40'

Explanation

	Soil Boring Drilled 5-20-16
---	-----------------------------



Sigma Prime Geosciences, Inc.

Figure	2
Date:	1/11/17
Job No.:	16-131

Site Map

Cerini Property, 13700 Skyline Blvd. Woodside



APPENDIX A

SUBSURFACE STUDY

The soils encountered during drilling were logged by our representative, and samples were obtained at depths appropriate to the study. The samples were taken to the laboratory where they were carefully observed and classified in accordance with the Unified Soil Classification System. The logs of our borings, as well as a summary of the soil classification system, are attached.

Several tests were performed in the field during drilling. The standard penetration resistance was determined by dropping a 140-pound hammer through a 30-inch free fall, and recording the blows required to drive the 2-inch (outside diameter) sampler 24 inches. The standard penetration resistance is the number of blows required to drive a standard split spoon sampler the last 12 inches, and is recorded on the boring logs at the appropriate depth. Use of the standard split spoon sampler defines a Standard Penetration Test (SPT), and yields an SPT-equivalent blow count. A modified California (Mod-Cal) sampler and a 2" outside-diameter sampler were also used, which result in blow counts that are higher than an SPT-equivalent blow count, due to the other sampler's larger diameters. For analyses, it is normal practice to reduce the blow counts from the larger samplers to correspond to an SPT-equivalent blow count. The blow counts from the larger diameter samplers are uncorrected on the logs. The results of these field tests are also presented on the boring logs.

The boring logs and related information depict our interpretation of subsurface conditions only at the specific location and time indicated. Subsurface conditions and groundwater levels at other locations may differ from conditions at the locations where sampling was conducted. The passage of time may also result in changes in the subsurface conditions.

Project Name Cerini					Project Number 16-131		 Sigma Prime Geosciences, Inc.		
Location Center of House Site									
Drilling Method	Hole Size	Total Depth	Soil Footage	Rock Footage	Elevation	Datum			
Cont. sampling	4"	7'	1.7'	5.3'	--	--	Boring No.	B-1	
Drilling Company Access Soil Drilling				Logged By C. Kissick			Page	1 of 1	
Type of Drill Rlg N/A (Cont. Sampling)		Type of Sampler(s) MC, 2.5", SPT		Hammer Weight and Fall 140 lb, 30"			Date(s)	5/20/16	
Depth (feet)	Description	Graphic Log	Class	Blow Count	Sample No.	Sample Type	Comments		
0	0' - 1.7': Leaf litter		CL	2 3 5 8		MC			
	1.7' - 7': <u>Sandstone</u> : yellowish brown; extremely weak; highly weathered.			8 13 12 14	1 2				
5				12 11 13 16	3	SPT			
				26 37	3	SPT			
	Bottom at 7'; no groundwater.								
10									
15									
20									

UNIFIED SOIL CLASSIFICATION (ASTM D-2487-85)

MATERIAL TYPES	CRITERIA FOR ASSIGNING SOIL GROUP NAMES			GROUP SYMBOL	SOIL GROUP NAMES & LEGEND	
COARSE-GRAINED SOILS > 50% RETAINED ON NO. 4 SIEVE	GRAVELS > 50% OF COARSE FRACTION RETAINED ON NO. 4 SIEVE	CLEAN GRAVELS < 5% FINES	Cu > 4 AND 1 < Cc < 3	GW	WELL-GRADED GRAVEL	
		GRAVELS WITH FINES > 12% FINES	Cu < 4 AND/OR 1 > Cc > 3	GP	POORLY-GRADED GRAVEL	
		SANDS > 50% OF COARSE FRACTION RETAINED ON NO. 4 SIEVE	CLEAN SANDS < 5% FINES	FINES CLASSIFY AS ML OR CL	GM	SILTY GRAVEL
			SANDS WITH FINES > 12% FINES	FINES CLASSIFY AS CL OR CH	GC	CLAYEY GRAVEL
	FINE-GRAINED SOILS > 50% PASSING NO. 200 SIEVE	SILTS AND CLAYS LIQUID LIMIT < 50	INORGANIC	PI > 7 AND PLOTS > "A" LINE	CL	LOW-PLASTICITY CLAY
			ORGANIC	PI > 4 AND PLOTS < "A" LINE	ML	LOW-PLASTICITY SILT
		SILTS AND CLAYS LIQUID LIMIT > 50	INORGANIC	LL (oven dried)/LL (not dried) < 0.75	OL	ORGANIC CLAY OR SILT
			INORGANIC	PI PLOTS > "A" LINE	CH	HIGH-PLASTICITY CLAY
ORGANIC			PI PLOTS < "A" LINE	MH	HIGH-PLASTICITY SILT	
ORGANIC			LL (oven dried)/LL (not dried) < 0.75	OH	ORGANIC CLAY OR SILT	
HIGHLY ORGANIC SOILS		PRIMARILY ORGANIC MATTER, DARK COLOR, ORGANIC ODOR		PT	PEAT	

NOTE: $Cu = D_{60}/D_{10}$

$$Cc = (D_{30})^2 / (D_{10} + D_{60})$$

BLOW COUNT

THE NUMBER OF BLOWS OF THE HAMMER REQUIRED TO DRIVE THE SAMPLER THE LAST 12 INCHES OF AN 18-INCH DRIVE. THE NOTATION 50/4 INDICATES 4 INCHES OF PENETRATION ACHIEVED IN 50 BLOWS.

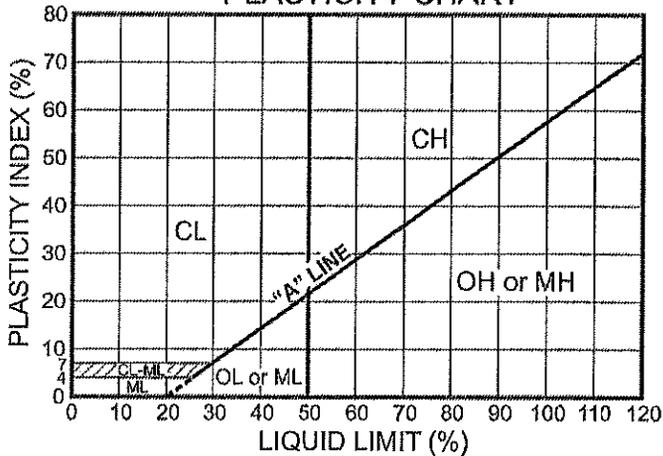
SAMPLE TYPES

- B BULK SAMPLE
- ST PUSHED SHELBY TUBE
- SPT STANDARD PENETRATION
- MC MODIFIED CALIFORNIA
- P PITCHER SAMPLE
- C ROCK CORE

ADDITIONAL TESTS

- CA - CHEMICAL ANALYSIS
- CN - CONSOLIDATION
- CP - COMPACTION
- DS - DIRECT SHEAR
- PM - PERMEABILITY
- PP - POCKET PENETROMETER
- Cor. - CORROSIVITY
- SA - GRAIN SIZE ANALYSIS
- (20%) - (PERCENT PASSING #200 SIEVE)
- SW - SWELL TEST
- TC - CYCLIC TRIAXIAL
- TU - CONSOLIDATED UNDRAINED TRIAXIAL
- TV - TORVANE SHEAR
- UC - UNCONFINED COMPRESSION
- WA - WASH ANALYSIS
- WATER LEVEL AT TIME OF DRILLING AND DATE MEASURED
- LATER WATER LEVEL AND DATE MEASURED

PLASTICITY CHART



LEGEND TO SOIL DESCRIPTIONS

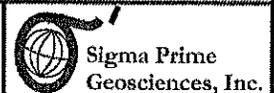


FIGURE A-1



County of San Mateo - Planning and Building Department

ATTACHMENT F

DEPARTMENT OF TRANSPORTATION

DISTRICT 4

OFFICE OF TRANSIT AND COMMUNITY PLANNING

P.O. BOX 23660, MS-10D

OAKLAND, CA 94623-0660

PHONE (510) 286-5528

FAX (510) 286-5559

TTY 711

www.dot.ca.gov

*Making Conservation
a California Way of Life.*

May 11, 2018

SCH # 2018042033

GTS # 04-SM-2018-00174

GTS ID: 10234

PM: SM – 35 - 17.741

Erica Adams, Project Planner
San Mateo County
455 County Center, 2nd Floor
Redwood City, CA 94063

New Single-Family Residence on Skyline Boulevard – Negative Declaration (ND)

Dear Ms. Adams:

Thank you for including the California Department of Transportation (Caltrans) in the environmental review process for the New Single-Family Residence on Skyline Boulevard. In tandem with the Metropolitan Transportation Commission's (MTC) Sustainable Communities Strategy (SCS), Caltrans' mission signals a modernization of our approach to evaluate and mitigate impacts to the State Transportation Network (STN). Caltrans' *Strategic Management Plan 2015-2020* aims to reduce Vehicle Miles Traveled (VMT) by tripling bicycle and doubling both pedestrian and transit travel by 2020. Our comments are based on the April 12, 2018 ND.

Project Understanding

The applicant is proposing to construct a new 2,496 square-foot (sf.) single-family residence on a legal 17,772 sf. parcel. The proposed residence will access State Route (SR) 35 (Skyline Boulevard) from a shared driveway which has been established by two recorded easements that will be extended by ten feet. The project also proposes to remove twelve trees greater than twelve inches in diameter and will involve 20 cubic yards of grading. The parcel is located within Skyline Boulevard State Scenic corridor along SR 35 (Skyline Boulevard), which is designated a State Scenic Highway. The project address is 13700 Skyline Boulevard (SR 35) in unincorporated Woodside.

Scenic Highway

State Route 35 at the project site is an Officially Designated State Scenic Highway, as is noted in the environmental documentation. The project should minimize its

visibility from the State Route to preserve its scenic status. Replacement trees to screen the new building should be provided to the extent possible.

Cultural Resources

There is no response to Question 13, regarding Native American consultation, on Page 1 of the Initial Study. Additionally, the potential for impacts to cultural resources was not examined. As part of the environmental review for this project, we recommend that the San Mateo County conduct a cultural resource technical study that at a minimum includes a records search at the Northwest Information Center of the California Historical Resources Information System (CHRIS) and a field survey.

Additionally, per the California Environmental Quality Act (CEQA) and Assembly Bill (AB) 52, we recommend that San Mateo County conduct Native American consultation with tribes, groups, and individuals who are interested in the project area and may have knowledge of Tribal Cultural Resources or other sacred sites.

If an encroachment permit is needed for work within Caltrans right-of-way, we may require that cultural resource technical studies be prepared in compliance with CEQA, Public Resources Code (PRC) 5024, and the Caltrans Standard Environmental Reference (SER) Chapter 2 (<http://www.dot.ca.gov/ser/vol2/vol2.htm>). Should ground-disturbing activities take place within Caltrans right-of-way and there is an inadvertent archaeological or burial discovery, in compliance with CEQA, PRC 5024.5, and the SER, all construction within 60 feet of the find shall cease and the Caltrans District 4 Office of Cultural Resource Studies (O CRS) shall be immediately contacted at (510) 622-1673.

Lead Agency

As the Lead Agency, the County of San Mateo is responsible for all project mitigation, including any needed improvements to the STN. The project's fair share contribution, financing, scheduling, implementation responsibilities and lead agency monitoring should be fully discussed for all proposed mitigation measures.

Encroachment Permit

Please be advised that any work or traffic control that encroaches onto the state ROW requires an encroachment permit that is issued by the Department. To apply, a completed encroachment permit application, environmental documentation, and five (5) sets of plans clearly indicating state ROW must be submitted to: Office of Permits, California DOT, District 4, P.O. Box 23660, Oakland, CA 94623-0660. Traffic-related mitigation measures should be incorporated into the construction plans during the encroachment permit process. See the website link below for more information: <http://www.dot.ca.gov/hq/traffops/developserv/permits/>.

Ms. Adams, County of San Mateo
May 11, 2018
Page 3

Thank you again for including Caltrans in the environmental review process. Should you have any questions regarding this letter, please contact Jake Freedman at 510-286-5518 or jake.freedman@dot.ca.gov.

Sincerely,

A handwritten signature in blue ink that reads "Pat C". The signature is written in a cursive, slightly stylized font.

PATRICIA MAURICE
District Branch Chief
Local Development - Intergovernmental Review

c: State Clearinghouse



County of San Mateo - Planning and Building Department

ATTACHMENT G

CALIFORNIA
HISTORICAL
RESOURCES
INFORMATION
SYSTEM



ALAMEDA
COLUSA
CONTRA COSTA
DEL NORTE
HUMBOLDT
LAKE
MARIN
MENDOCINO
MONTEREY
NAPA
SAN BENITO
SAN FRANCISCO
SAN MATEO
SANTA CLARA
SANTA CRUZ
SOLANO
SONOMA
YOLO

Northwest Information Center
Sonoma State University
150 Professional Center Drive, Suite E
Rohnert Park, California 94928-3609
Tel: 707.588.8455
nwic@sonoma.edu
<http://www.sonoma.edu/nwic>

May 8, 2017

File No.: 16-1732

Erica Adams, Project Planner
San Mateo County Planning and Building Division
455 County Center
Redwood City, CA 94063

re: PLN2016-00363, 13700 SKYLINE BLVD, Woodside, CA / Kevin Cerini

Dear Erica Adams,

Records at this office were reviewed to determine if this project could adversely affect cultural resources.

Please note that use of the term cultural resources includes both archaeological sites and historical buildings and/or structures. The review for possible historic-era building/structures, however, was limited to references currently in our office and should not be considered comprehensive.

Project Description: Architecture Review for a new 1,800 s/f SFD, including removal of 11 trees on the property on a legal 0.4-acre (zoning: RE-S-10) parcel. The project is within & will be visible from the Skyline Blvd. State Scenic Corridor. Parcel was confirmed as a legal lot under PLN2015-00553

Previous Studies:

XX Study #3082 (Dietz and Jackson 1970) covering approximately 100% of the proposed project area, identified no cultural resources (see recommendation below).

Archaeological and Native American Resources Recommendations:

XX The proposed project area has the possibility of containing unrecorded archaeological site(s). Due to the passage of time since the previous survey (Dietz and Jackson 1970) and the changes in archaeological theory and method since that time, we recommend a qualified archaeologist conduct further archival and field study for the entire project area to identify archaeological resources. A study is recommended prior to commencement of project activities.

XX We recommend the lead agency contact the local Native American tribe(s) regarding traditional, cultural, and religious heritage values. For a complete listing of tribes in the vicinity of the project, please contact the Native American Heritage Commission at 916/373-3710.

Built Environment Recommendations:

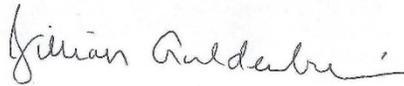
XX Since the Office of Historic Preservation has determined that any building or structure 45 years or older may be of historical value, if the project area contains such properties, it is recommended that prior to commencement of project activities, a qualified professional familiar with the architecture and history of San Mateo County conduct a formal CEQA evaluation.

Due to processing delays and other factors, not all of the historical resource reports and resource records that have been submitted to the Office of Historic Preservation are available via this records search. Additional information may be available through the federal, state, and local agencies that produced or paid for historical resource management work in the search area. Additionally, Native American tribes have historical resource information not in the California Historical Resources Information System (CHRIS) Inventory, and you should contact the California Native American Heritage Commission for information on local/regional tribal contacts.

The California Office of Historic Preservation (OHP) contracts with the California Historical Resources Information System's (CHRIS) regional Information Centers (ICs) to maintain information in the CHRIS inventory and make it available to local, state, and federal agencies, cultural resource professionals, Native American tribes, researchers, and the public. Recommendations made by IC coordinators or their staff regarding the interpretation and application of this information are advisory only. Such recommendations do not necessarily represent the evaluation or opinion of the State Historic Preservation Officer in carrying out the OHP's regulatory authority under federal and state law.

For your reference, a list of qualified professionals in California that meet the Secretary of the Interior's Standards can be found at <http://www.chrisinfo.org>. If archaeological resources are encountered during the project, work in the immediate vicinity of the finds should be halted until a qualified archaeologist has evaluated the situation. If you have any questions please give us a call (707) 588-8455.

Sincerely,

A handwritten signature in cursive script, appearing to read "Gillian Auldubert".

for

Bryan Much
Coordinator

cc: Kevin Cerini
Kevcerini@aol.com