

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 13, 2019

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Executive Summary. Consideration of a Resource Management, Architectural Review, and Grading Permit to allow construction of an addition to a single-family residence located at 40 Castanea Ridge Road in the unincorporated South Skyline area of San Mateo County.

County File Number: PLN2018-00137

PROPOSAL

The applicant is proposing a 3,780 sq. ft. addition to an existing 2,587 sq. ft. single-family residence on a 4.98 acre parcel. A carport attached to the residence will be converted into a covered patio. The addition will be connected to the existing residence by a breezeway and will include a garage. The existing driveway will be re-graded to reduce the slope and new retaining walls will be installed to provide two uncovered guest parking spaces in front of the proposed covered patio. The proposal includes a total of 1,863 cubic yards of grading. No significant-sized trees are proposed for removal. About half of the parcel is located within the Skyline State Scenic Corridor, which includes the existing residence and the proposed addition.

RECOMMENDATION

That the Planning Commission approve the Resource Management, Architectural Review, and Grading Permit, County File Number PLN 2018-00137, by making the required findings and imposing the conditions of approval in Attachment A.

SUMMARY

Conformance with the General Plan, RM District and Grading Regulations. The project has been reviewed against the Visual Quality and Soils Resources policies of the General Plan, as well as the "Environmental Quality" and "Site Design" criteria cited in the RM District's Development Review (DR) criteria. The addition has been sited and designed in a manner that avoids the removal of significant trees and reconciles with the area's rural nature. The grading as required for the project has been reviewed by the County Geotechnical Section and planning staff against the applicable grading regulations and, with the conditions added, comply with the required findings.

Conformance with Architectural Review Standards. These standards promote designs that preserve the visual character and scenic appearance of the Skyline Boulevard State Scenic Corridor area. The proposed addition has been strategically sited and designed to be tucked into the hillside and avoid tree removal. The addition will have a similar height, one-story flat roof form, and earth toned exterior colors and materials as the existing residence and the surrounding natural environment. Several olive trees will be planted east of the addition to provide additional screening from Skyline Boulevard. The addition is only visible from Skyline Boulevard approximately half a mile south of the intersection of Castanea Ridge Road and Skyline Boulevard. However, with the proposed colors and materials and tree screening, there would be a negligible difference from existing conditions.

Environmental Evaluation. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1(e), relating to the addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. where the project will not be located in an environmentally sensitive area, and will be located on a property that is already improved with an existing on-site septic system and water well. The project meets these requirements and thus qualifies for the cited exemption.

DJH:ann: - DJHDD0021_WNU.DOCX

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: February 13, 2019

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Resource Management, Architectural Review, and Grading Permit, pursuant to Sections 6313 of the County Zoning Regulations, Sections 154, 227-229.1, 260, and 261 of the California Streets and Highways Code, and Section 9283 of the County Building Regulations, respectively, to allow construction of an addition to a single-family residence located at 40 Castanea Ridge Road in the unincorporated South Skyline area of San Mateo County.

County File Number: PLN2018-00137 (Spencer/Cross)

PROPOSAL

The applicant is proposing a 3,780 sq. ft. addition to an existing 2,587 sq. ft. single-family residence on a 4.98 acre parcel. A 390 sq. ft. carport attached to the residence will be converted into a covered patio. The addition will be connected to the existing residence by a thirteen-foot long breezeway and will include an exercise room, storage room, and garage. The proposed garage will be able to accommodate a minimum of two covered parking spaces. The existing driveway will be re-graded to reduce the slope to less than eighteen percent and new concrete retaining walls will be constructed to provide two uncovered guest parking spaces in front of the proposed covered patio. The proposal includes a total of 1,863 cubic yards (c.y.) of grading (1,735 c.y. of excavation and 128 c.y. of fill). No significant-sized trees are proposed for removal. The section of the parcel east of Castanea Ridge Road (approximately half of the parcel) is located within the Skyline State Scenic Corridor which includes the existing residence and the location of the proposed addition (see Attachment C).

RECOMMENDATION

That the Planning Commission approve the Resource Management, Architectural Review, and Grading Permit, County File Number PLN 2018-00137, by making the required findings and imposing the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Dave Holbrook, Project Planner, Telephone 650/363-1837

Applicant: Noel Cross

Owner: Ryan Orr and Maegan Spencer

Location: 40 Castanea Ridge Road, La Honda

APN: 080-410-170

Size: 4.98 acres

Existing Zoning: RM (Resource Management District)

General Plan Designation: Rural Public Recreation

Existing Land Use: Single-Family Residence

Water Supply: An existing domestic water well on the parcel serves the existing single-family residence. The water well is located approximately fifty (50) feet east of the residence. The water tanks are located approximately forty (40) feet north of the residence adjacent to the driveway leading into the property.

Sewage Disposal: The site is currently improved with an on-site septic system which services the residence on the property. The septic system is located south of the residence on the property.

Flood Zone: The project site is located in Flood Zone X as defined by FEMA (Community Panel Number 06081C0420E, effective October 16, 2012), which is an area with minimal potential for flooding.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15301, Class 1(e), relating to the addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. where the project will not be located in an environmentally sensitive area, and will be located on a property that is already improved with an existing on-site septic system and water well.

Setting: The project site is located on a gently to steeply sloping irregularly-shaped parcel located west of Skyline Boulevard (Highway 35), approximately seven hundred (700) feet west of the intersection of Castanea Ridge Road, a private roadway not maintained by the County, and Skyline Boulevard. The residence on the subject parcel is located east of Castanea Ridge Road and is accessible via an unpaved driveway. There are several oak and olive trees along the driveway and around the residence. The parcel is surrounded by low-density single-family residential development immediately east, north, and south, and open hillside to the west. In the greater vicinity,

there are several Midpeninsula Regional open space areas such as the Skyline Ridge, Long Ridge, and Monte Bello Open Space Reserves.

DISCUSSION

A. **KEY ISSUES**

1. **Conformance with the General Plan**

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

Visual Quality Policies

Policy 4.22 (*Scenic Corridors*) aims to protect and enhance the visual quality of scenic corridors by managing the location and appearance of structural development. Policy 4.59 (*Views*) regulates development in scenic corridors to the extent feasible so that it does not obstruct views from scenic roads or disrupt the visual harmony of the natural landscape.

Policy 4.48 (*Topography and Vegetation*) and Policy 4.52 (*Colors and Materials*) also aim to regulate the design of structures to conform to the natural topography, blend rather than conflict with the natural vegetation, and use colors and materials that blend with or complement the surrounding natural environment, do not dominate or overpower the site, are compatible with the size, scale, and architectural style of the structure, and are not highly reflective.

The subject parcel is partially within the Skyline State Scenic Corridor. The section of the parcel east of Castanea Ridge Road (approximately half of the parcel) is located within the scenic corridor which includes the existing residence and the proposed addition. Although the addition will be located on the eastern side of the residence, the closest point of the residence to Skyline Boulevard, the addition has been strategically sited and designed to be tucked into the hillside and where no significant-size tree removal is required. The addition will have a similar height, one-story flat roof form, and earth toned exterior colors and materials as the existing residence which will reduce the overall visibility of the entire building. Several olive trees will also be planted east of the addition to provide additional screening from Skyline Boulevard. The addition is only visible from Skyline Boulevard approximately half a mile south of the intersection of Castanea Ridge Road and Skyline Boulevard. However, with the proposed colors and materials and tree screening, there would be a negligible difference from existing conditions.

Soil Resources

Policy 2.17 (*Regulate Development to Minimize Soil Erosion and Sedimentation*) regulates development to minimize soil erosion and sedimentation that includes, but is not limited to, measures that consider the effects of slope, minimize removal of vegetative cover, and ensure stabilization of disturbed areas.

The project includes 1,863 c.y. of grading (1,735 c.y. of excavation and 128 c.y. of fill), therefore requiring the approval of a Grading Permit. The applicant submitted a grading plan (see Attachment D) and geotechnical assessment prepared by GeoForensics Inc. both reviewed and conditionally approved by the Building Inspection Section's Geotechnical Consultant. Erosion and sedimentation control measures are also proposed and outlined in the applicant's preliminary erosion control plan (see Attachment D) to ensure all disturbed areas are stabilized.

2. Conformance with Zoning Regulations

a. Conformance with the Resource Management District

The subject property is located in the Resource Management (RM) Zoning District. The proposal is in conformance with all applicable development standards including the maximum height of thirty six (36) feet, minimum front yard setback of fifty (50) feet, and minimum rear and side yard setbacks of twenty (20) feet. This project has been reviewed under and found, as conditioned, to be in compliance with the Development Review Criteria as stipulated in Chapter 20A.2 of the County Zoning Regulations as follows:

- (1) The proposed project adheres to the standards of the Environmental Quality Criteria (Section 6324.1) by maximizing the use of solar energy and reducing the use of electricity and fossil fuels. The addition was designed to maximize passive solar heating and natural ventilation and includes a solar-ready roof. With its location tucked into the hillside, heat loss through exterior walls will also be significantly reduced.
- (2) The proposed project adheres to the standards of the Site Design Criteria (Section 6324.2) by siting and designing the proposed addition to carefully fit the topography of the project site, minimizing grading and modification of existing land forms and natural characteristics, and employing colors and materials that blend in with, rather than contrast with, the surrounding soil and vegetative cover of the project site. As discussed in Section A.1, the proposed addition will be tucked into the hillside next to

the residence. The addition will have similar earth toned exterior colors and materials as the existing residence exterior materials such as a tan low slope roof, grey concrete walls, and bronze window trims. Further, the project minimizes grading to the extent feasible. A majority of the proposed grading is to allow the addition to be tucked into the adjacent hillside. Since the current driveway and guest parking area are currently on a steep slope, these areas will also be re-graded to ensure the property owners and their guests can access the residence safely.

- (3) Environmental Health Services (EHS) has reviewed the septic system and water well on the property and conditionally approved the proposed project to ensure the standards of the Utilities Criteria (Section 6324.3) are met. EHS will take the necessary steps at the building permit stage to ensure the septic system, water well, and their associated connections are working properly.
- (4) The proposed project will be in compliance with the Water Resources Criteria (Section 6324.4) by minimizing the impact on hydrologic processes by minimizing grading and installing and maintaining active sediment and erosion control measures. The Planning and Building Department have also reviewed and conditionally approved the site preparation procedures and construction phasing for the project.
- (5) The Planning Department has included a condition of approval (Condition of Approval No. 14) to address the possibility that cultural resources may be uncovered during construction. This condition meets the standards of the Cultural Resources Criteria (Section 6324.5) to ensure all archaeological and/or paleontological resources are preserved.
- (6) While the project site is not located within an area with identified hazards, other sections of the property are located within a landslide zone, specifically west and south of the residence. The geotechnical assessment submitted for the project (see Attachment F) concluded that the project may be constructed as proposed subject to the recommendations in the assessment. Further, the Building Section's Geotechnical Consultant has reviewed and conditionally approved the project. In addition, the applicant is required to comply with all building and fire code requirements to ensure health and safety. The Building Inspection Section and Cal Fire have reviewed and approved the project which ensures it complies with the standards of the Public Safety Criteria (Section 6324.6).

3. Conformance with the Architectural Review Permit

Staff has reviewed the project and found it to be in compliance with Sections 154, 227-229.1, 260, and 261 of the California Streets and Highways Code as it pertains to the Skyline Boulevard State Scenic Corridor. Specifically, the standards seek to promote the preservation of the visual character and protect the scenic appearance of the Skyline Scenic Corridor area. As previously discussed, the subject parcel is developed and served by existing infrastructure. Therefore, the project scope is limited to on-site improvements only. The proposed addition has been strategically sited and designed to be tucked into the hillside and where no tree removal is required. Earth-toned exterior colors and materials will be used to match the existing residence and the surrounding natural environment. Several olive trees will also be planted east of the addition to provide additional screening from Skyline Boulevard. As discussed previously, the addition is only visible from Skyline Boulevard approximately half a mile south of the intersection of Castanea Ridge Road and Skyline Boulevard. However, with the proposed colors and materials and tree screening, there would be a negligible difference from existing conditions.

4. Conformance with the Grading Ordinance

Pursuant to the California Streets and Highways Code as it pertains to the Skyline Boulevard State Scenic Corridor, a Grading Permit is required if 25 c.y. or more is proposed. The applicant is proposing to perform grading involving 1,863 c.y. of grading (1,735 c.y. of excavation and 128 c.y. of fill) for the construction of an addition to an existing single-family residence and therefore requires a Grading Permit.

In order to approve this project, the Planning Commission must make the required findings as specified in Section 9290 (*Findings, Conditions, and Actions*) of the County Building Regulations. The findings and supporting evidence are outlined below:

- a. That the project will not have a significant adverse effect on the environment. The project is categorically exempt under provisions of Class 1(e), Section 15301 of the California Environmental Quality Act (CEQA) for construction of an addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. The project meets the criteria for this exemption as it will not be located in an environmentally sensitive area and will be located on a property that is already improved with an existing on-site septic system and water well.
- b. That the project conforms to the criteria of Chapter 5 (*Regulations for Excavating, Grading, Filling, and Clearing on Lands in Unincorporated*

San Mateo County) of the County Building Regulations including the standards referenced in Section 9296. The project, as proposed and conditioned, conforms to the standards in the County Building Regulations, including timing of grading activity, erosion and sediment control, and dust control. The project has also been reviewed and conditionally approved by the Building Inspection Section's Geotechnical Consultant.

- c. That the project is consistent with the General Plan. At 4.98 acres, the project parcel complies with the allowed density of the General Plan land use designation for Public Recreation within a rural area (1 density credit per 5 acres). Additionally, as proposed and conditioned, the project complies with all applicable General Plan policies, as discussed in Section A.1 of this report.

B. ENVIRONMENTAL REVIEW

This project is categorically exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act (CEQA) Guidelines related to the addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. where the project will not be located in an environmentally sensitive area, and will be located on a property that is already improved with an existing on-site septic system and water well.

C. REVIEWING AGENCIES

Building Inspection Section
California Fire Protection District
Department of Public Works
Environmental Health Services
Geotechnical Section

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Scenic Corridor Map
- D. Project Plans
- E. Addition Illustrations

DJH:CJM:ann – DJHDD0020_WNU.DOCX

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2018-00137 Hearing Date: February 13, 2019

Prepared By: Dave Holbrook For Adoption By: Planning Commission
Project Planner

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the proposed project is categorically exempt pursuant to Section 15301, Class 1, of the California Environmental Quality Act Guidelines related to the addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. where the project will not be located in an environmentally sensitive area, and will be located on a property that is already improved with an existing on-site septic system and water well.

Regarding the Resource Management Permit, Find:

2. This project has been reviewed under and found, as conditioned, to be in compliance with the Development Review Criteria as stipulated in Chapter 20A.2 of the County Zoning Regulations.

Regarding the Architectural Review Permit, Find:

3. That the project complies with the California Streets and Highways Code as it pertains to the Skyline Boulevard State Scenic Corridor. The proposed project results in on-site improvements only. The proposed addition has been strategically sited and designed to be tucked into the hillside and avoid tree removal. Earth-toned exterior colors and materials will be used to match the existing residence and the surrounding natural environment. Several olive trees will also be planted east of the addition to provide additional screening from Skyline Boulevard. Overall, the project has been designed and sited as to remain subordinate and complementary to the site.

Regarding the Grading Ordinance, Find:

4. That the granting of the permit will not have a significant adverse effect on the environment. The project is categorically exempt under provisions of Class 1(e),

Section 15301 of the California Environmental Quality Act for construction of an addition to an existing private structure that will not result in an increase of more than 10,000 sq. ft. The project requires with the criteria for this exemption as it will not be located in an environmentally sensitive area and will be located on a property that is already improved with an existing on-site septic system and water well.

5. That the project conforms to the criteria of Chapter 5 (*Regulations for Excavating, Grading, Filling, and Clearing on Lands in Unincorporated San Mateo County*) of the County Building Regulations including the standards referenced in Section 9296. The project, as proposed and conditioned, conforms to the standards in the County Building Regulations, including timing of grading activity, erosion and sediment control, and dust control. The project has also been reviewed and conditionally approved by the Building Inspection Section's Geotechnical Consultant.
6. That the project is consistent with the General Plan. At 4.98 acres, the project parcel complies with the allowed density of the General Plan land use designation for Public Recreation within a rural area (1 density credit per 5 acres). Additionally, as proposed and conditioned, the project complies with all applicable General Plan policies regarding visual and soil resources.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Planning Commission on February 13, 2019. Minor modifications to the project may be approved by the Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.
2. This Resource Management, Architectural Review, and Grading Permit shall be valid for one (1) year from the date of approval by which time a valid building permit shall have been issued. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable permit extension fees at least sixty (60) days prior to expiration.
3. This permit does not allow for the removal of any trees. Removal of any trees with a diameter equal to or greater than twelve (12) inches as measured 4.5 feet above the ground shall require a separate tree removal permit.
4. During construction, chain-lined fencing with a minimum height of six (6) feet mounted on steel posts driven approximately two (2) feet into the soil is required to protect all trees measuring twelve (12) inches or in diameter at breast height (protected tree) within or near the project area. The posts shall be located a

maximum of ten (10) feet from the tree trunk. The fencing shall be located eight (8) to ten (10) times the diameter at breast height (dbh) in all directions from each tree. The minimum shall be six (6) times the dbh when a larger distance is not possible. The fencing shall be installed prior to the arrival of materials, vehicles, and/or equipment and must remain in place until all construction is completed or unless approved a qualified arborist. Tree protection signage shall be mounted to the fence for each tree.

5. The following tree protection measures shall also be installed and maintained during construction activities:
 - a. A qualified arborist shall supervise any excavation activities within the tree protection zone of each protected tree.
 - b. Any roots exposed during construction activities that are larger than two (2) inches in diameter may not be cut or damaged until a qualified arborist has an opportunity to assess the impact of removing these roots.
 - c. The area under the drip line of each tree shall be thoroughly irrigated to a soil depth of eighteen (18) inches every three to four (3-4) weeks during the dry months.
 - d. Mulch shall cover all bare soils within the tree protection fencing. This material must be six (6) to eight (8) inches in depth after spreading, which must be done by hand. Course wood chips are preferred because they are organic and degrade naturally over time.
 - e. Loose soil and mulch must not be allowed to slide down slope to cover the root zones or the root collars of protected trees.
 - f. There must be no grading, trenching, or surface scraping inside the driplines of the protected trees, unless specifically approved by a qualified arborist. Trenching is defined as follows:
 - (1) Trenches for any underground utilities (gas, electricity, water, phone, TV cable, etc.) must be located outside the driplines of protected trees, unless approved by a qualified arborist. Alternative methods of installation may be suggested.
 - (2) Landscape irrigation trenches must be located a minimum distance of 10 times the trunk diameter from the trunks of protected trees unless otherwise noted and approved by the Arborist.
 - g. Materials must not be stored, stockpiled, dumped, or buried inside the driplines of protected trees.

- h. Excavated soil must not be piled or dumped, even temporarily, inside the driplines of protected trees.
 - i. Landscape materials (cobbles, decorative bark, stones, fencing, etc.) must not be installed directly in contact with the bark of trees because of the risk of serious disease infection.
 - j. Landscape irrigation systems shall be designed to avoid water striking the trunks of the protected trees, especially oak trees.
 - k. Any pruning must be done by a company with an arborist certified by the International Society of Arboriculture (ISA) and according to ISA, Western Chapter Standards, 1998.
 - l. Any plants that are planted inside the driplines of oak trees must be of species that are compatible with the environmental and cultural requirements of oaks trees. A publication detailing plants compatible with California native oaks can be obtained from The California Oak Foundation's 1991 publication "Compatible Plants Under & Around Oaks" details plants compatible with California native oaks and is currently available online at:
<http://californiaoaks.org/wpcontent/uploads/2016/04/CompatiblePlantsUnderAroundOaks.pdf>
6. Specifically for the sixteen (16)-inch coast live oak tree located between the existing driveway and water tanks on the subject property, the following tree protection measures shall be installed (as confirmed prior to building permit issuance) and maintained during construction activities:
- a. Before the project begins, and using the tree protection fencing outlined in Condition No. 4, the fencing for the tree shall be placed at the existing retaining wall on the driveway side, or approximately four (4) feet from the base of the tree. On all other sides of the tree, the fencing shall be placed at the dripline. If this placement interferes with access to the water suppression equipment near the tree, the fencing within the area of water suppression equipment can be brought in far enough to allow access to this equipment.
 - b. The tree should be thoroughly watered (to a depth of 18 inches) everywhere under the canopy and mulched.
 - c. Under the supervision of a qualified arborist, tree limbs shall be trimmed back on the driveway side to allow equipment to access and work in this area. If possible, recommended end-weight reduction and cabling of the tree shall be done at this time.

- d. Any minor grading at the existing grade (below retaining wall on driveway) shall be completed and shall not exceed six (6) inches.
 - e. The existing boulder retaining wall shall be removed by hand, without the use of bobcat, backhoe or other machinery. The goal is to remove the wall without damaging any roots that may be behind the wall. Any roots uncovered that are larger than two (2) inches in diameter shall not be damaged or cut before inspection by a qualified arborist.
 - f. The new retaining wall shall be constructed per plan.
 - g. The area shall be backfilled and the tree again watered to a depth of eighteen (18) inches.
7. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section including the Building Inspection Section's Geotechnical Consultant, California Fire Protection District, and Environmental Health Services.
8. At the building permit stage, a boundary survey is required.
9. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to the County Planning Department approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).

- e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
10. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
11. Installation of the approved landscape plan is required prior to final building inspection.
12. The landscape plan shall comply with the Water Efficient Landscape Ordinance (WELO):
- a. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide the required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. A prescriptive checklist is available as a compliance option for projects under 2,500 sq. ft. WELO also applies to rehabilitated landscape projects equal to or greater than 2,500 sq. ft.

The following restrictions apply to projects using the prescriptive checklist:

- (1) Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
- (2) Plant Water Use (Residential): Install climate adapted plants that require occasional, little, or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.

- (3) Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
 - (4) Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways, is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
 - (5) Irrigation System: The property shall certify that Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.
13. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Project Planner to verify adherence to this condition prior to a final building permit sign-off by the Current Planning Section.
14. In the event that cultural, paleontological, or archaeological resources are encountered during site grading or other site work, such work shall immediately be halted in the area of discovery and the project sponsor shall immediately notify the Community Development Director of the discovery. The applicant shall be required to retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The cost of the qualified archaeologist and of any recording, protecting, or curating shall be borne solely by the project sponsor. The archaeologist shall be required to submit to the Community Development Director for review and approval a report of the findings and methods of curation or protection of the resources. No further grading or site work within the area of discovery shall be allowed until the preceding has occurred. Disposition of Native American remains shall comply with CEQA Guidelines Section 15064.5(e).
15. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site. A separate tree protection plan may also be required as part of the building permit. Species and size of trees shall be indicated on the plan (size shall be measured by diameter at breast height (dbh) method).

16. Once approved, erosion and sediment control measures of the erosion control plan shall be installed prior to beginning any work and maintained throughout the term of the grading permit and building permit as confirmed by the County through a pre-site inspection if project initiation occurs immediately prior to or during the wet season. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
17. An Erosion Control and/or Tree Protection Pre-Site Inspection shall be conducted prior to the issuance of a grading permit "hard card" and building permit to ensure the approved erosion control and/or tree protection measures are installed adequately prior to the start of ground disturbing activities.
18. No grading activities shall commence until the applicant has been issued a grading permit "Hard Card", which will only be issued concurrently with the associated building permit.
19. No site disturbance shall occur, including any grading, until a building permit has been issued.
20. The site is considered a Construction Stormwater Regulated Site (SWRS). Any grading activities conducted during the wet weather season (October 1 to April 30) will require monthly erosion and sediment control inspections by the Building Inspection Section, as well as prior authorization from the Community Development Director to conduct grading during the wet weather season.
21. The proposed projects is subject to Provision C.3.i of the County's Municipal Regional Stormwater Permit and therefore shall implement at least one of the following site design measures listed below:
 - a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable use.
 - b. Direct roof runoff onto vegetated areas.
 - c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
 - d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
 - e. Construct sidewalks, walkways, and/or patios with permeable surfaces.
 - f. Construct bike lanes, driveways, and/or uncovered parking lots with permeable surfaces.

22. No grading shall be allowed during the wet weather season (October 1 through April 30) to avoid increased potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Community Development Director grants the exception. Exceptions will only be granted if dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).
23. The provision of the San Mateo County Grading Ordinance shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Section 9296.5, all equipment used in grading operations shall meet spark arrester and firefighting tool requirements, as specified in the California Public Resources Code.
24. The engineer who prepared the approved grading plan shall be responsible for the inspection and certification of the grading as required by Section 9297.2 of the Grading Ordinance. The engineer's responsibilities shall include those relating to non-compliance detailed in Section 9297.4 of the Grading Ordinance.
25. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
26. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction related vehicles impede through traffic along Castanea Ridge Road. All construction vehicles shall be parked on-site outside of the Castanea Ridge Road, or in locations which do not impede safe access along Castanea Ridge Road. There shall be no overnight storage of construction vehicles or equipment on Castanea Ridge Road.
27. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of

stormwater runoff from the construction site into storm drain systems and adjacent water bodies by:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater and watercourses.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth moving activities only during dry weather.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the Construction Best Management Practices.
28. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code

Section 4.88.360). Noise levels produced by construction activities shall not exceed the 80-dBA level at any one moment.

Building Inspection Section

29. This project requires a building permit.
30. The garage shall have Electric Vehicle Charging Station infrastructure installed.

Cal Fire

31. At the building permit stage, the project shall be reviewed and approved by Cal Fire.

Geotechnical Section

32. At the building permit stage, a geotechnical report shall be submitted for the review and approval of the Building Official that evaluates potential landslide areas and the suitability of locating the drainage trenches in the landslide susceptible areas.

DJH:CJM:ann – DJHDD0020_WNU.DOCX



County of San Mateo - Planning and Building Department

ATTACHMENT B



Project Parcel

Castanea Ridge Rd

Skyline Blvd

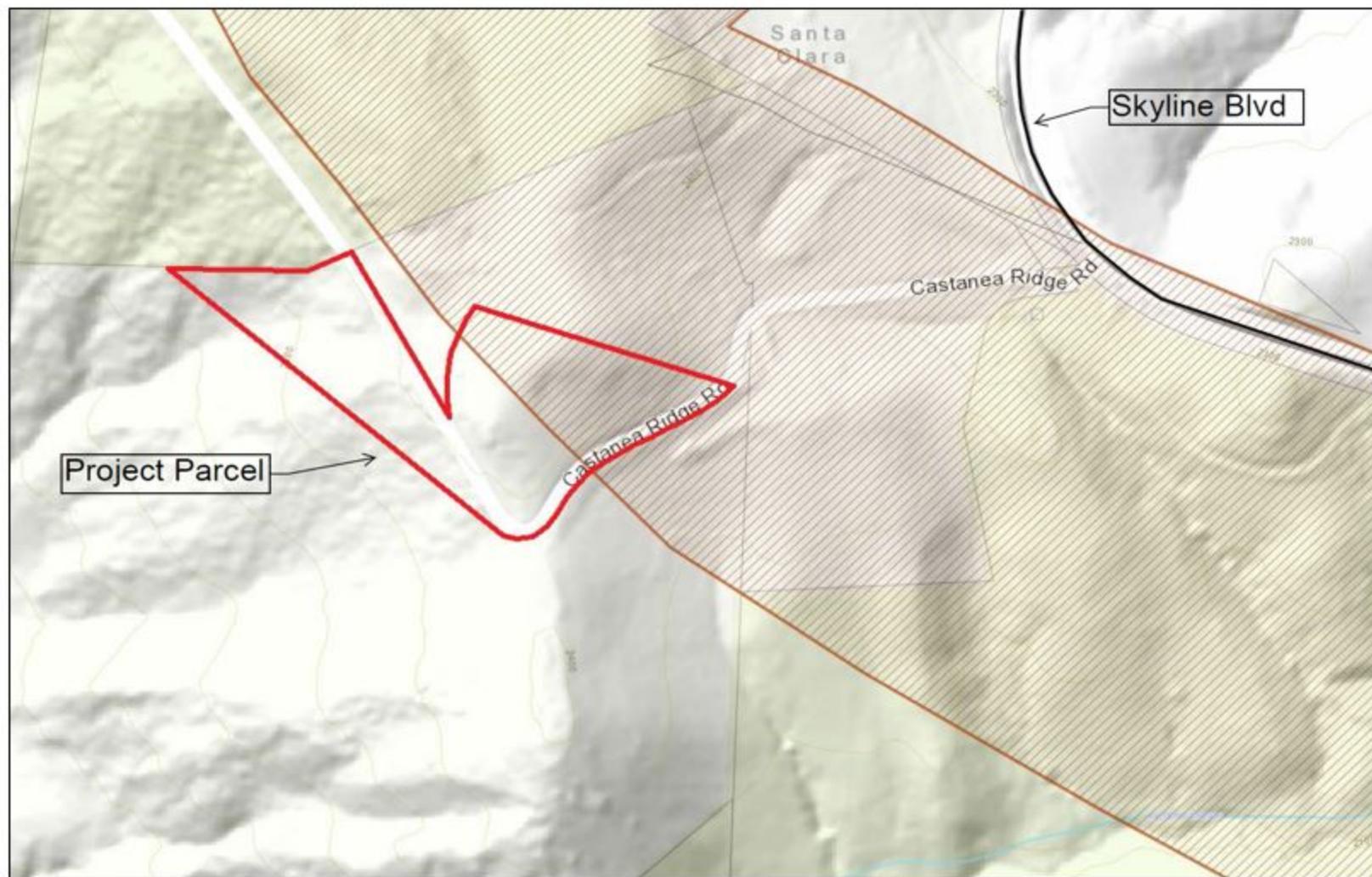
Potda Heights Rd



County of San Mateo - Planning and Building Department

ATTACHMENT C

Skyline St. Scenic Corridor & Project Site

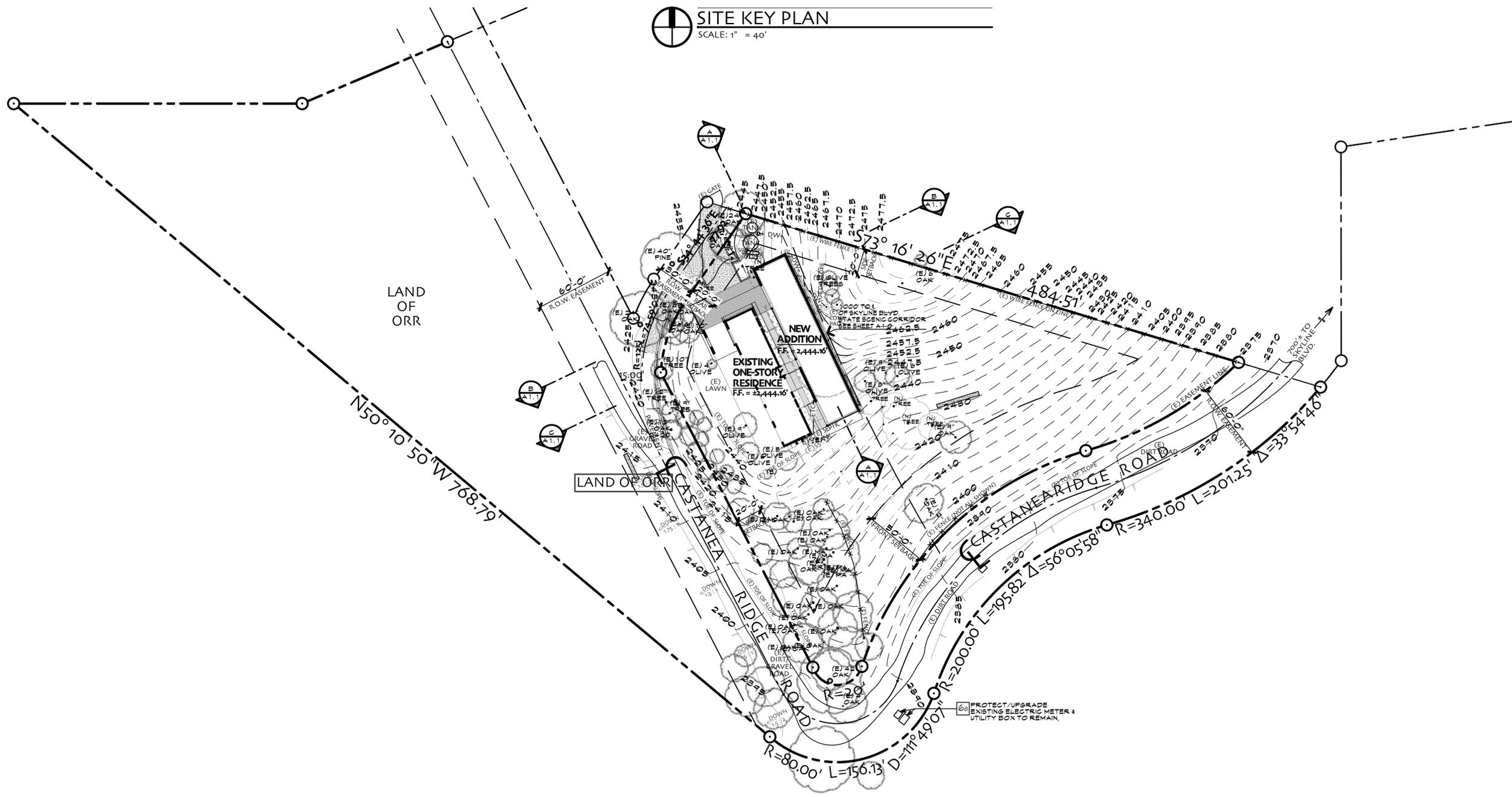




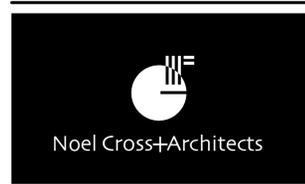
County of San Mateo - Planning and Building Department

ATTACHMENT D

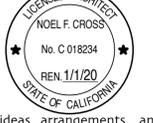
SITE KEY PLAN
SCALE: 1" = 40'



ARCHITECT



148 E. Virginia Street #2 San Jose, CA 95112
408-216-0222 www.nfcarcitect.com



The plans, ideas arrangements, and designs indicated or represented by this drawing are owned by, and are the property of the Architect and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from: NOEL F. CROSS, ARCHITECT, A.I.A.



this symbol calls attention to a "green" material or construction process. The general contractor and all subcontractors shall give special attention to locating, procuring, and installing this specific material, or one that is as equally environmentally sustainable. In many cases vendor phone numbers have been included. call the architect in the event you cannot locate the specified material.

SPENCER-ORR ADDITION

Property Owner	Maegan Spencer Ryan Orr
Project Address	40 Castanea Ridge Rd La Honda, CA 94020
Phone	(650) 996-6344
Parcel	APN: 080-410-170
Site Area	4.997 acres 216,798 sq. ft (gross) 158,833 sq. ft (net)
Zoning	RM; Resource Management County of San Mateo
Setbacks	Front: 50'-0" Rear: 20'-0" Side: 20'-0"
Construction	Type V-N Sprinklered
Occupancy	R-3

PROJECT DATA

Project No.	17.09
Drawn By	DSK/JMS/JIF/LFS
Checked By	NFC
Date	10 JULY 2018 PLANNING SUBMITTAL

Revisions

02 CASTANEA-SKYLINE INTERSECTION

NOT TO SCALE

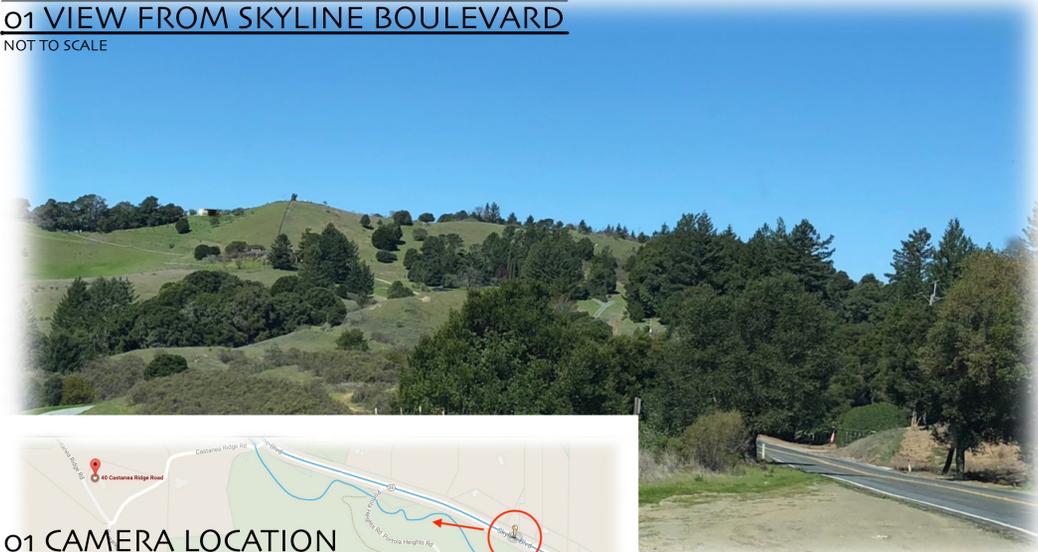


02 CAMERA LOCATION

NOT TO SCALE

01 VIEW FROM SKYLINE BOULEVARD

NOT TO SCALE



01 CAMERA LOCATION

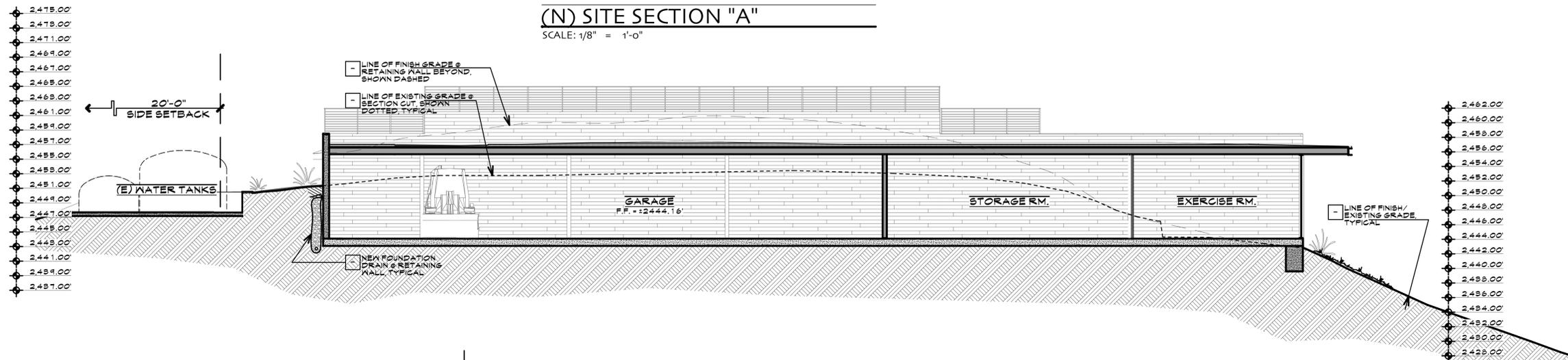
NOT TO SCALE

Sheet No. **A0.1**

Of date printed: 7/9/18

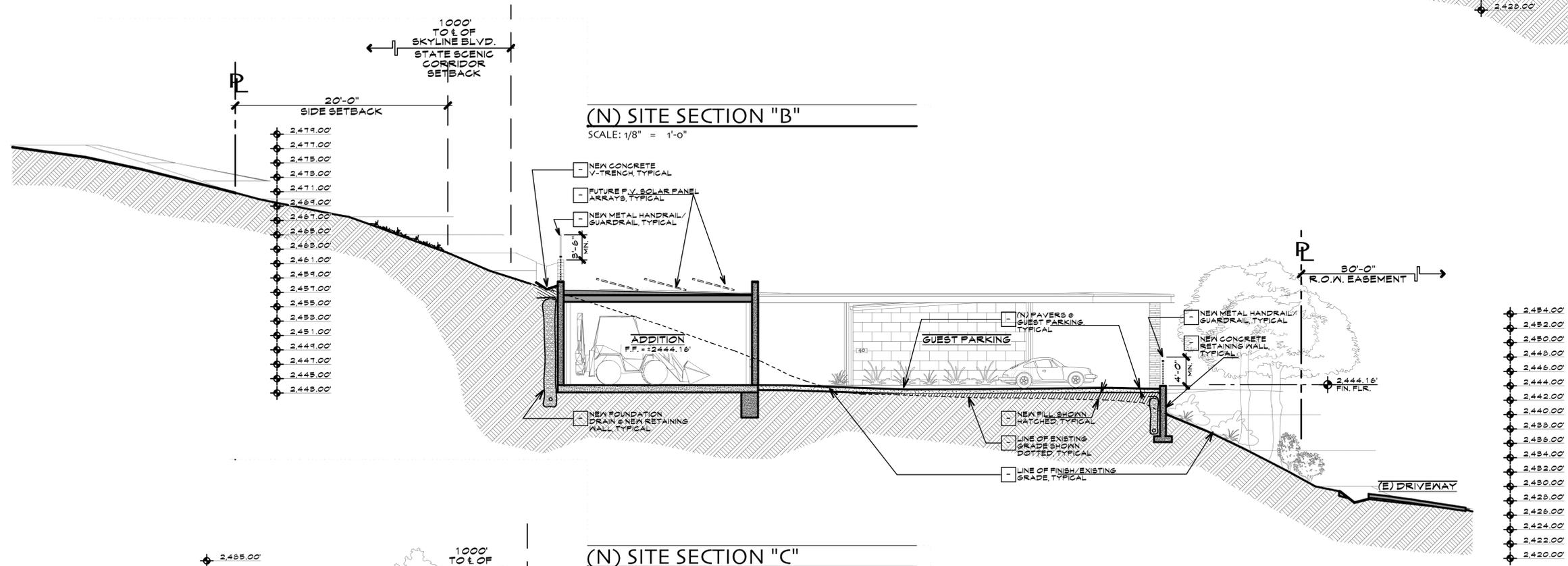
(N) SITE SECTION "A"

SCALE: 1/8" = 1'-0"



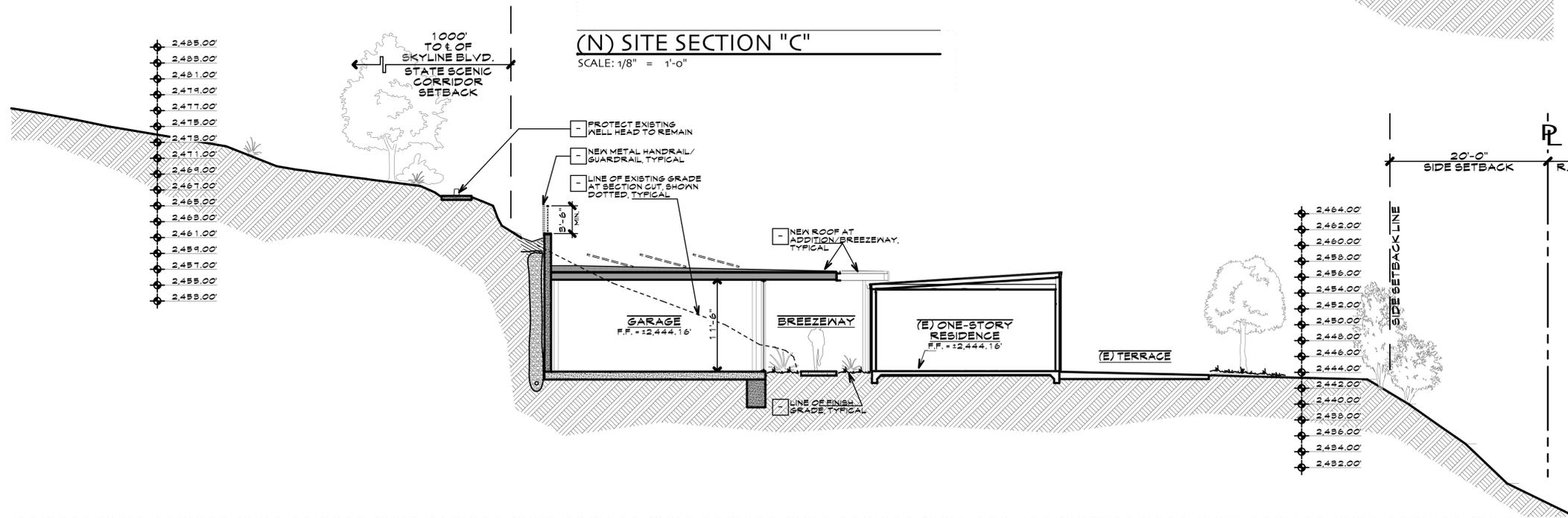
(N) SITE SECTION "B"

SCALE: 1/8" = 1'-0"

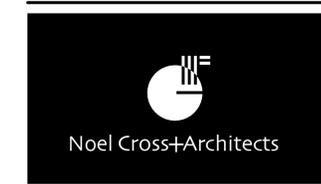


(N) SITE SECTION "C"

SCALE: 1/8" = 1'-0"



ARCHITECT



Noel Cross+Architects
148 E. Virginia Street #2 San Jose, CA 95112
408-216-0222 www.nfcarchitect.com



The plans, ideas arrangements, and designs indicated or represented by this drawing are owned by, and are the property of the Architect and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from:
NOEL F. CROSS, ARCHITECT, A.I.A.



this symbol calls attention to a "green" material or construction process. The general contractor and all subcontractors shall give special attention to locating, procuring, and installing this specific material, or one that is as equally environmentally sustainable. In many cases vendor phone numbers have been included. call the architect in the event you cannot locate the specified material.

SPENCER-ORR ADDITION

Property Owner	Maegan Spencer Ryan Orr
Project Address	40 Castanea Ridge Rd La Honda, CA 94020
Phone	(650) 996-6344
Parcel	APN: 080-410-170
Site Area	4.997 acres 216,798 sq. ft (gross) 158,833 sq. ft (net)
Zoning	RM; Resource Management County of San Mateo
Setbacks	Front: 50'-0" Rear: 20'-0" Side: 20'-0"
Construction	Type V-N Sprinklered
Occupancy	R-3

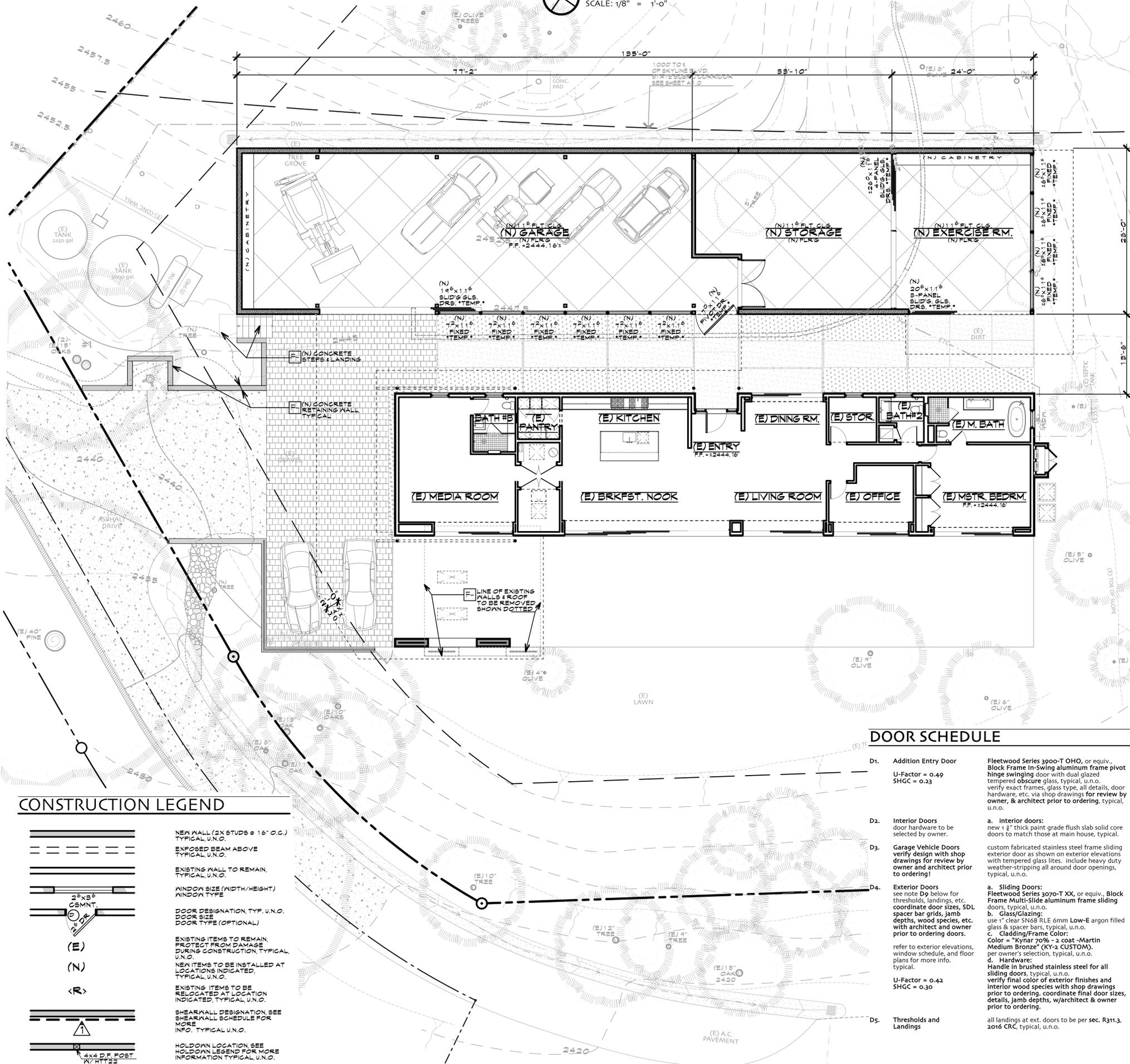
PROJECT DATA

Project No.	17.09
Drawn By	DSK/JMS/JIF/LFS
Checked By	NFC
Date	10 JULY 2018 PLANNING SUBMITTAL

Revisions

PROPOSED ADDITION PLAN

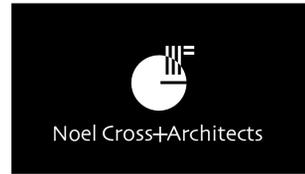
SCALE: 1/8" = 1'-0"



FLOOR PLAN NOTES

- F1. Egress/Escape per sec. R310.1, 2016 CRC all bedrooms shall have windows or doors with hardware meeting egress requirements. all egress windows with two or more latches shall have the latches interconnected and operable from the lowest latch, typical, u.n.o.
- F2. Splash Areas per sec. 115B.2, sec. 1210.3, & sec. 1405.2, 2016 CBC & sec. R702.3.8, 2016 CRC NO GREENBOARD ALLOWED! provide water resistant 5/8" Dens-Shield by Georgia-Pacific® or 1/4" HardieBacker board by JamesHardie®, or asphalt saturated felt paper, of 2x studs at all water splash areas, typical, u.n.o.
- F3. New Walls install 2x studs, 4x & 6x d.f. posts in new walls where shown shaded. see details, typical, u.n.o.
- F4. Firewall at Walls & Ceilings Common to Garage & Stairs per sec. R302.6 & Table R302.6, 2016 CRC Dens-Glass Gold Fireguard 5/8" type 'x' one hr. rated gyp. bd. fire-rated assemblies shall have joints taped sec. 2508.4, 2016 CBC at:
 - a. all walls & ceilings of garage, or up common wall between garage & living space to underside of roof sheathing system, and
 - b. at all walls & ceilings of storage space under interior stairs.
- F5. New Sinks
 - a. Shop Sink job-built curb-mop sink
 - b. Wash Bay Slot Drains ACO slot drains where shown, typical.
- F6. Cabinetry contractor & cabinet maker shall verify all final design details & materials w/owner as well as all room dimensions & rough openings for fixtures, prior to fabrication & installation, typical, u.n.o.
- F7. HVAC Systems contractor to coordinate all layout, piping, ducting, and power requirements of mechanical units and systems with Electrical, Mechanical & Plumbing contractors, typical.
 - a. (N) mini split HVAC system: provide/install new fan coil units at mechanical room and at attic locations w/ attic access door, switch & light, & 1/2" plywood pathway & service platform for equipment per sec. 304.0 & 904.11, 2016 CMC - connect to condenser where shown on site plan, typical. see elec./mech. plan and notes for more info.
- F8. Water Heater protect existing water heater/boiler at Mech. Room. see mechanical plan drawings for more info., typical, u.n.o.
- F9. Utilities/Meters/Panels see site plan and electrical plan drawings and specs for more info., typical, u.n.o.
- F10. Bath Accessories see interior elevation notes for more info.
- F11. Finishes/Special Treatments
 - a. finishes verify w/owner and owner for all wall, floor, & ceiling finishes, typical.
 - b. ceiling treatments see framing plans, cross sections, & details for all soffits, & flat ceilings.
- F12. Thermal Insulation and Sound Insulation
 - a. roof rafters/flat ceilings: "Flash and Batt" (R-49 total) 4" (R-19) closed cell spray polyurethane foam insulation plus a layer of 9" thick fibreglas (R-30) @ all existing 2x12 flat ceilings, typical, u.n.o.
 - b. exterior walls: 4 1/2" (R-27) closed cell spray polyurethane foam insulation @ all existing 2x6 exterior walls, typical, u.n.o.
 - c. sound attenuating insulation at walls: 3 1/2" formaldehyde-free Bonded Logic "Ultra-Touch" unfaced cotton fiber bats @ all interior "sound" walls per floor plan (verify in field with owner), typical, u.n.o.

ARCHITECT



148 E. Virginia Street #2 San Jose, CA 95112
408-216-0222 www.nfarchitect.com



The plans, ideas arrangements, and designs indicated or represented by this drawing are owned by, and are the property of the Architect and were created and developed solely for use on, and in connection with this specific project, and shall not be used, in whole or in part, for any purpose for which they were not originally intended without written permission from: NOEL F. CROSS, ARCHITECT, AIA

G!

this symbol calls attention to a "green" material or construction process. the general contractor and all subcontractors shall give special attention to locating, procuring, and installing this specific material, or one that is as equally environmentally sustainable. in many cases vendor phone numbers have been included. call the architect in the event you cannot locate the specified material.

CONSTRUCTION LEGEND

- NEW WALL (2X STUDS @ 16" O.C.) TYPICAL, U.N.O.
- EXPOSED BEAM ABOVE TYPICAL, U.N.O.
- EXISTING WALL TO REMAIN, TYPICAL, U.N.O.
- WINDOW SIZE (WIDTH/HEIGHT) WINDOW TYPE
- DOOR DESIGNATION, TYP. U.N.O. DOOR TYPE (OPTIONAL)
- EXISTING ITEMS TO REMAIN, PROTECT FROM DAMAGE DURING CONSTRUCTION, TYPICAL, U.N.O.
- NEW ITEMS TO BE INSTALLED AT LOCATIONS INDICATED, TYPICAL, U.N.O.
- EXISTING ITEMS TO BE RELOCATED AT LOCATION INDICATED, TYPICAL, U.N.O.
- SHEAR WALL DESIGNATION SEE SHEAR WALL SCHEDULE FOR MORE INFO. TYPICAL, U.N.O.
- HOLDDOWN LOCATION SEE HOLDDOWN LEGEND FOR MORE INFORMATION TYPICAL, U.N.O.

DOOR SCHEDULE

- D1. Addition Entry Door
 - U-Factor = 0.49
 - SHGC = 0.23
- D2. Interior Doors
 - door hardware to be selected by owner.
- D3. Garage Vehicle Doors
 - verify design with shop drawings for review by owner and architect prior to ordering!
- D4. Exterior Doors
 - see note D9 below for thresholds, landings, etc. coordinate door sizes, SDL spacer bar grids, jamb depths, wood species, etc. with architect and owner prior to ordering doors.
 - refer to exterior elevations, window schedule, and floor plans for more info. typical.
 - U-Factor = 0.42
 - SHGC = 0.30
- D5. Thresholds and Landings
 - all landings at ext. doors to be per sec. R311.3, 2016 CRC, typical, u.n.o.

WINDOW SCHEDULE

- NOTE TO GENERAL CONTRACTOR
 - NFRC label which states the required U-value and SGHC for all fenestration products shall not be removed prior to inspection or removal by a building inspector, and shall reflect the values listed in the Title 24 energy report.
- W1. Windows
 - see floor plan & exterior elevations for window sizes/types, typical, u.n.o.
 - U-Factor = 0.52
 - SHGC = 0.26
 - coordinate window sizes, jamb depths, hardware type/color, alum. cladding color & aluminum frame screens to be confirmed by owner prior to ordering windows, typical, u.n.o.
- W2. Tempered Glass
 - indicated on plan by "TEMP"

CAL-GREEN NOTE
NFRC label which states the required U-value and SGHC for all fenestration products shall not be removed prior to inspection or removal by a building inspector, and shall reflect the values listed in the Title 24 energy report.

SPENCER-ORR ADDITION

Property Owner	Maegan Spencer Ryan Orr
Project Address	40 Castanea Ridge Rd La Honda, CA 94020
Phone	(650) 996-6344
Parcel	APN: 080-410-170
Site Area	4.997 acres 216,798 sq. ft (gross) 158,833 sq. ft (net)
Zoning	RM; Resource Management County of San Mateo
Setbacks	Front: 50'-0" Rear: 20'-0" Side: 20'-0"
Construction	Type V-N Sprinklered
Occupancy	R-3

PROJECT DATA

Project No.	17.09
Drawn By	DSK/JMS/JIF/LFS
Checked By	NFC
Date	10 JULY 2018 PLANNING SUBMITTAL

Revisions	
Sheet No.	A2.0
Of date printed:	7/9/18

FIELD LAND SCAPE

1265 Indiana Street
San Francisco Ca. 94107
P. 415.926.5775
C. 415.271.1899
www.fieldarch.com



SPENCER ORR
40 CASTANEA RIDGE ROAD
LA HONDA, CA 94020

Revisions:

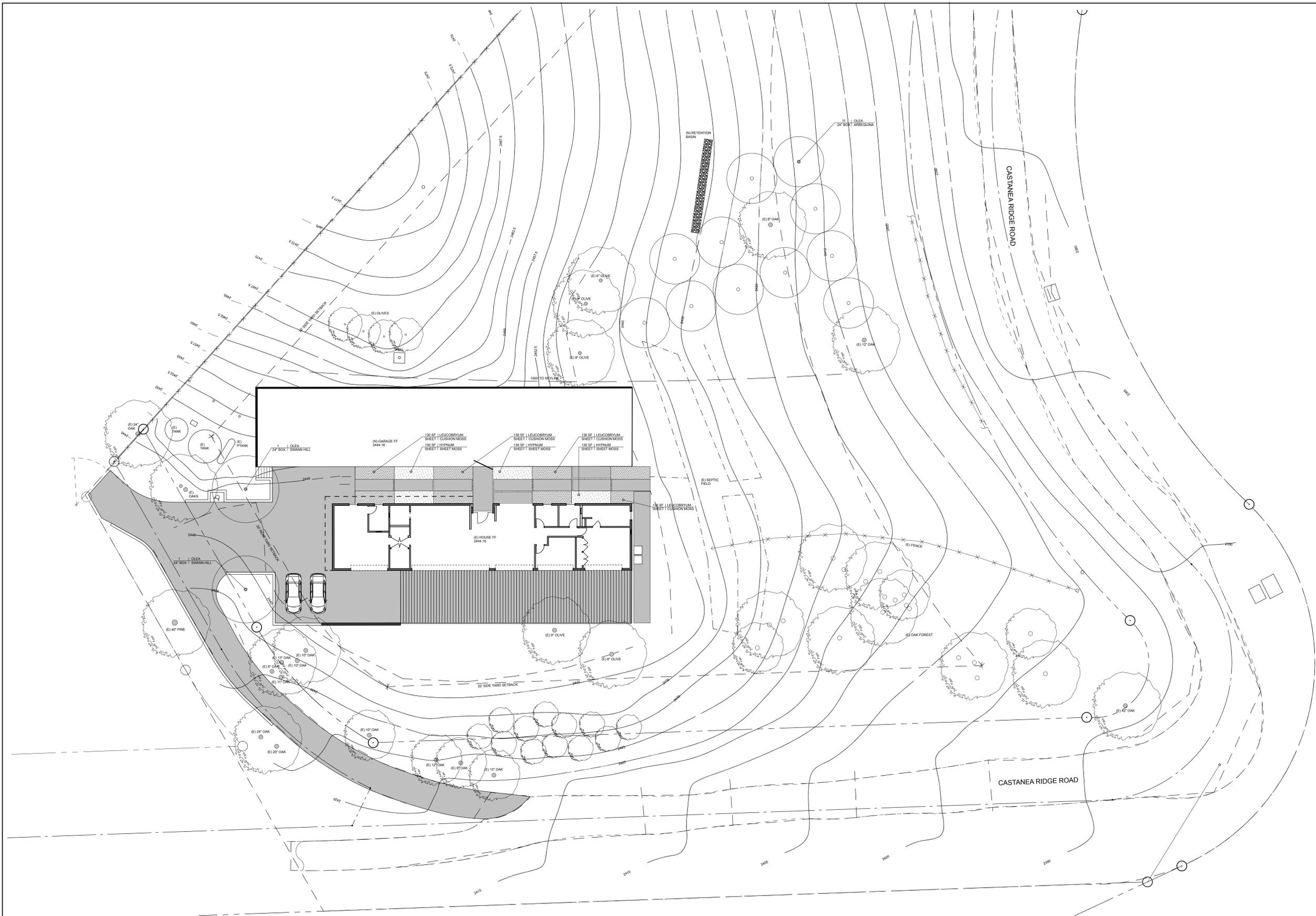
LANDSCAPE PLAN

SCALE: 1/16" = 1'-0"

DATE: 4/3/2018

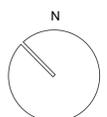
SHEET:

L1



4 LANDSCAPE PLAN
L1

SCALE: 1/16" = 1'-0"



Structural Plans and details contained herein are the property of the Engineer and were created for use on this specific project. Structural plans and details may not be duplicated, in whole or in part, used or disclosed without prior written consent of the Engineer, J. Thomas Jakaby, S.E., E.

CLIENT
MAEGAN SPENCER & RYAN ORR
40 CASTANEA RIDGE RD.
LA HONDA, CA 94020

PROJECT
SPENCER-ORR RESIDENCE ADDITION
40 CASTANEA RIDGE RD.
LA HONDA, CA 94020

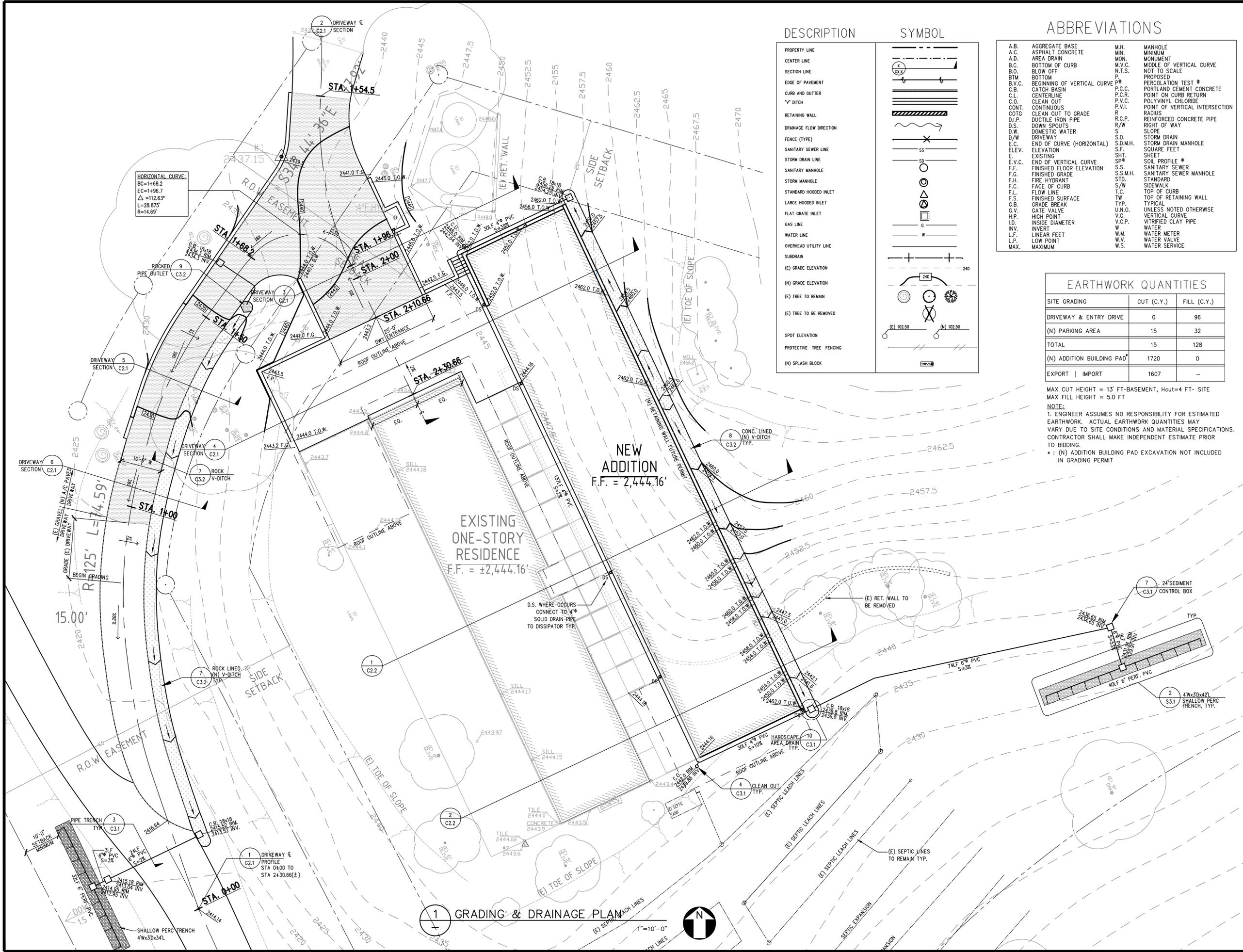
STAMP
REGISTERED PROFESSIONAL ENGINEER
J. THOMAS JAKABY
No. C 42317
Exp. 3/31/20
CIVIL
STATE OF CALIFORNIA

SHEET
GRADING & DRAINAGE PLAN

DATE : 04/05/18
SCALE : AS NOTED
DRAW : BD
DESIGN : BD
CHECK : JTJ
JOB No. JE-17171

REVISIONS	BY
04/05/18 PLANNING SUBMITTAL	CJB
08/21/18 PLANNING RESUBMITTAL	JTJ

SHEET : **C1.1**



DESCRIPTION	SYMBOL
PROPERTY LINE	---
CENTER LINE	---
SECTION LINE	---
EDGE OF PAVEMENT	---
CURB AND GUTTER	---
"V" DITCH	---
RETAINING WALL	---
DRAINAGE FLOW DIRECTION	---
FENCE (TYPE)	---
SANITARY SEWER LINE	SS
STORM DRAIN LINE	SD
SANITARY MANHOLE	---
STORM MANHOLE	---
STANDARD HOODED INLET	---
LARGE HOODED INLET	---
FLAT GRATE INLET	---
GAS LINE	G
WATER LINE	W
OVERHEAD UTILITY LINE	---
SUBDRAIN	---
(E) GRADE ELEVATION	240
(N) GRADE ELEVATION	240
(E) TREE TO REMAIN	---
(E) TREE TO BE REMOVED	---
SPOT ELEVATION	102.50
PROTECTIVE TREE FENCING	---
(N) SPLASH BLOCK	---

ABBREVIATIONS		
A.B. AGGREGATE BASE	M.H. MANHOLE	MIN. MINIMUM
A.C. ASPHALT CONCRETE	MON. MONUMENT	M.V.C. MIDDLE OF VERTICAL CURVE
A.D. AREA DRAIN	N.T.S. NOT TO SCALE	P. PROPOSED
B.C. BOTTOM OF CURB	P.C.C. PORTLAND CEMENT CONCRETE	P.C.R. POINT ON CURB RETURN
B.O. BLOW OFF	P.V.C. POLYVINYL CHLORIDE	P.V.I. POINT OF VERTICAL INTERSECTION
BTM. BOTTOM	R. RADIUS	R.C.P. REINFORCED CONCRETE PIPE
B.V.C. BEGINNING OF VERTICAL CURVE	R.C.P. R.C.P.	R/W. RIGHT OF WAY
C.B. CATCH BASIN	S. SLOPE	S.D. STORM DRAIN
C.L. CENTERLINE	S.D.M.H. STORM DRAIN MANHOLE	S.F. SQUARE FEET
C.O. CLEAN OUT	S.F. SQUARE FEET	SHT. SHEET
CONT. CONTINUOUS	SHT. SHEET	SP# SOIL PROFILE #
COG. CLEAN OUT TO GRADE	S.S. SANITARY SEWER	S.S.M.H. SANITARY SEWER MANHOLE
D.I.P. DUCTILE IRON PIPE	S.S.M.H. SANITARY SEWER MANHOLE	STD. STANDARD
D.S. DOWN SPOUTS	S/W. SIDEWALK	T.C. TOP OF CURB
D.W. DOMESTIC WATER	T.W. TOP OF RETAINING WALL	TYP. TYPICAL
D/W DRIVEWAY	U.N.O. UNLESS NOTED OTHERWISE	V.C. VERTICAL CURVE
E.C. END OF CURVE (HORIZONTAL)	V.C. VERTICAL CURVE	V.C.P. VITRIFIED CLAY PIPE
ELEV. ELEVATION	W. WATER	W.M. WATER METER
E. EXISTING	W.V. WATER VALVE	W.S. WATER SERVICE
E.V.C. END OF VERTICAL CURVE		
F.F. FINISHED FLOOR ELEVATION		
F.G. FINISHED GRADE		
F.H. FIRE HYDRANT		
F.C. FACE OF CURB		
F.L. FLOW LINE		
F.S. FINISHED SURFACE		
G.B. GRADE BREAK		
G.V. GATE VALVE		
H.P. HIGH POINT		
I.D. INSIDE DIAMETER		
INV. INVERT		
L.F. LINEAR FEET		
L.P. LOW POINT		
MAX. MAXIMUM		

EARTHWORK QUANTITIES		
SITE GRADING	CUT (C.Y.)	FILL (C.Y.)
DRIVEWAY & ENTRY DRIVE	0	96
(N) PARKING AREA	15	32
TOTAL	15	128
(N) ADDITION BUILDING PAD	1720	0
EXPORT	1607	-
IMPORT	-	-

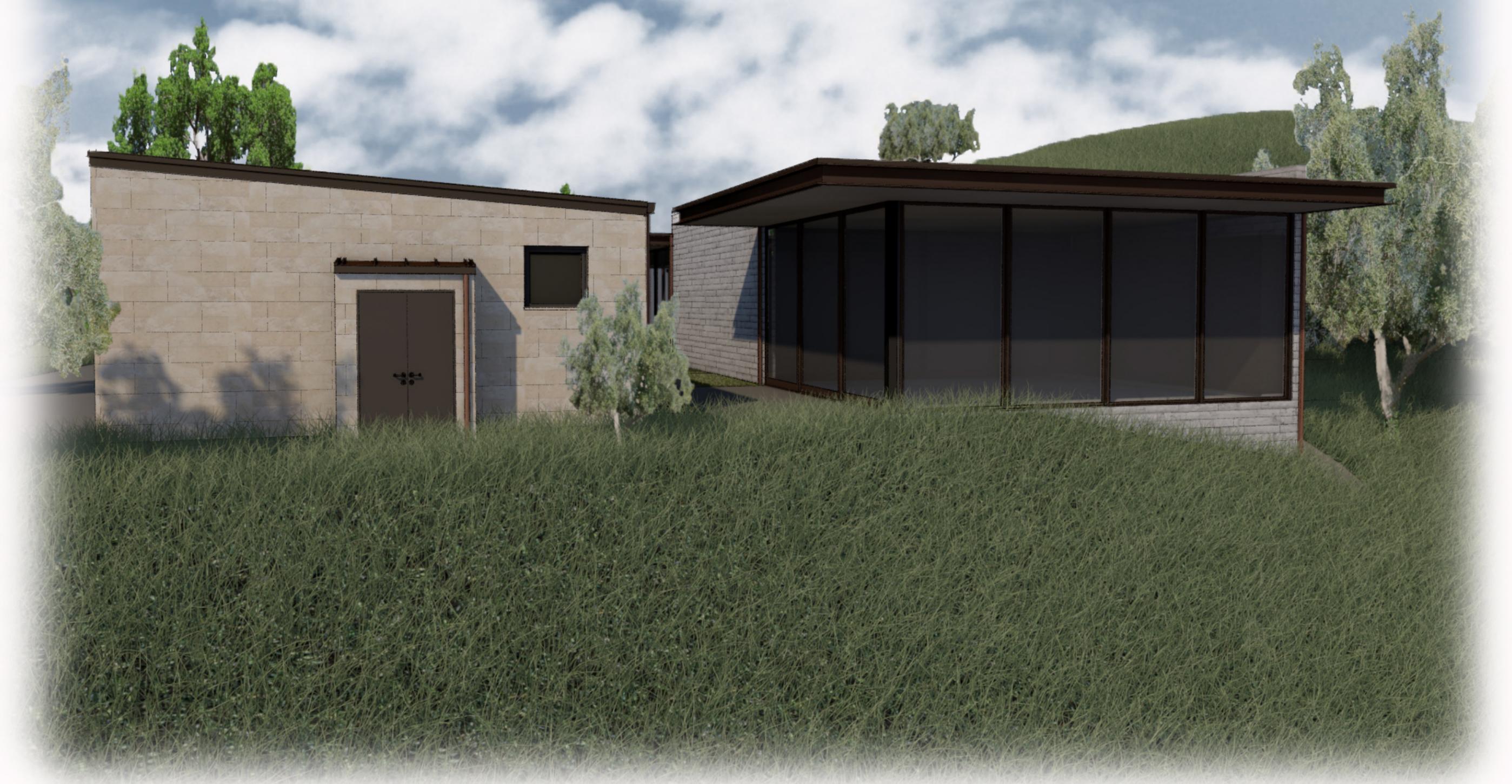
MAX CUT HEIGHT = 13' FT-BASEMENT, Hcut=4 FT- SITE
MAX FILL HEIGHT = 5.0 FT
NOTE:
1. ENGINEER ASSUMES NO RESPONSIBILITY FOR ESTIMATED EARTHWORK. ACTUAL EARTHWORK QUANTITIES MAY VARY DUE TO SITE CONDITIONS AND MATERIAL SPECIFICATIONS. CONTRACTOR SHALL MAKE INDEPENDENT ESTIMATE PRIOR TO BIDDING.
* : (N) ADDITION BUILDING PAD EXCAVATION NOT INCLUDED IN GRADING PERMIT

1 GRADING & DRAINAGE PLAN
1"=10'-0"



County of San Mateo - Planning and Building Department

ATTACHMENT E



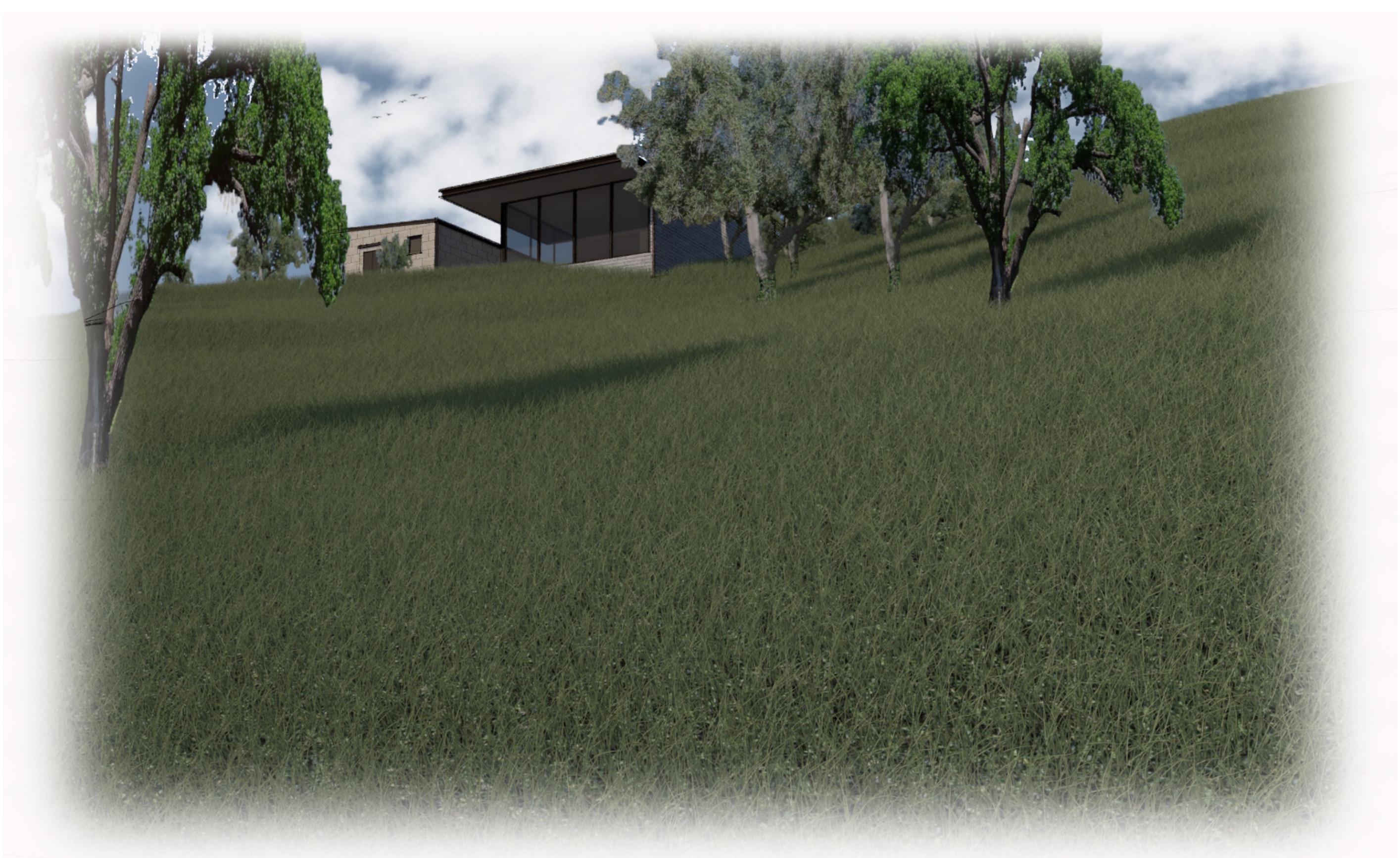
VIEW FROM WEST

SPENCER-ORR ADDITION
40 Castanea Ridge Rd
La Honda, CA 94020
Date: Presentation
Date Printed: 7/9/18



Noel Cross+Architects

"Specializing in Environmentally Sustainable Design"
408.871.7600 www.nfcarchitects.com



VIEW FROM SOUTH

SPENCER-ORR ADDITION
40 Castanea Ridge Rd
La Honda, CA 94020
Date: Presentation
Date Printed: 7/9/18



Noel Cross+Architects

"Specializing in Environmentally Sustainable Design"
408.871.7600 www.nfcarchitects.com