

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** April 13, 2022

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Coastal Development Permit, Non-Conforming Use Permit, and Design Review Permit to permit construction of a new 2,041 sq. ft., two-story single-family residence, including a 206 sq. ft. attached one-car garage, located on a 4,484 sq. ft. undeveloped legal parcel in the Moss Beach area of unincorporated San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 2020-00392 (Love)

**PROPOSAL**

The applicant proposes to construct a new two-story, 2,041 sq. ft. single-family residence on a 4,484 sq. ft. non-conforming parcel. The project includes a 206 sq. ft. attached one-car garage and three bedrooms. The property is located on Ocean Boulevard, adjacent to single family residences and residentially-zoned vacant properties. The project requires a Non-Conforming Use Permit due to the non-conforming parcel size and parking. No significant tree removal and only minor grading is proposed.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Non-Conforming Use Permit, and Design Review Permit, County File Number PLN 2020-00392, by making the required findings and adopting the conditions of approval identified in Attachment A.

**SUMMARY**

Conformance with the General Plan and the Local Coastal Program (LCP): The project complies with applicable General Plan Policies, including Policy 8.30, and Local Coastal Program Policies, including Policy 1.19, that require the infilling of urban areas where infrastructure and services are available. The project complies with this policy, as the subject site is located within a developed residential area and within an approved

residential subdivision. Montara Water and Sanitary District has confirmed they have adequate capacity to serve the parcel.

Conformance with Zoning Regulations and Non-Conforming Use Permit Findings: The proposed two-story single-family residence complies with the development standards of the S-105 Zoning District. With regard to parking, one covered space is provided where two are required.

The applicant has requested a Non-Conforming Use Permit to address the non-conforming parcel size and parking. The project complies with the required findings for a use permit, including that (1) the proposed development is as nearly in conformance with the Zoning Regulations as is reasonably possible (such as compliance with floor area, lot coverage, and height limits of the S-105 Zoning District), and that (2) the applicant has made a reasonable effort to acquire additional contiguous land in order to achieve conformity with the Zoning Regulations, currently in effect, but which has proven to be infeasible. The property owner attempted to acquire the adjacent vacant parcel. However, the owner of the vacant parcel was not interested in selling the parcel. In addition, the developed parcel to the east contains a non-conforming residence, which maintains a non-conforming setback from the common property line, thus this adjacent parcel is also not a candidate for expansion of the subject parcel.

Conformance with Design Review District Standards: The Coastside Design Review Committee (CDRC) considered the project at the regularly scheduled CRDC meeting on August 12, 2021. At that meeting, the CDRC adopted the findings to recommend project approval (Attachment D), finding the project to be compliant with Design Review standards.

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**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** April 13, 2022

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Coastal Development Permit, Non-Conforming Use Permit, and Design Review Permit, pursuant to Sections 6328.4, 6133.3.b, and 6565.3 of the Zoning Regulations, to allow construction of a new 2,041 sq. ft., two-story single-family residence, including a 206 sq. ft. attached one-car garage, located on a 4,484 sq. ft. undeveloped legal parcel in the Moss Beach area of unincorporated San Mateo County. The project is appealable to the California Coastal Commission.

County File Number: PLN 2020-00392 (Love)

**PROPOSAL**

The applicant proposes to construct a new two-story, 2,041 sq. ft. single-family residence on a 4,484 sq. ft. non-conforming parcel. The project includes a 206 sq. ft. attached one-car garage and three bedrooms. The property is located on Ocean Boulevard, adjacent to single family residences and residentially-zoned vacant properties. The project requires a Non-Conforming Use Permit due to the non-conforming parcel size and parking. No significant tree removal and only minor grading is proposed.

**RECOMMENDATION**

That the Planning Commission approve the Coastal Development Permit, Non-Conforming Use Permit, and Design Review Permit, County File Number PLN 2020-00392, by making the required findings and adopting the conditions of approval identified in Attachment A.

**BACKGROUND**

Report Prepared By: Glen Jia, Project Planner, Telephone 650/363-1803

Applicant: Edward Love

Owner: David Madwed

Location: Ocean Boulevard, Moss Beach

APN: 037-278-010

Size: 4,484 sq. ft.

Parcel Legality: Mass LCP Merger

Existing Zoning: R-1/S-105/DR/GH/CD (One Family Residential District/Residential Density District (Mid-Coast)/Design Review District/Geological Hazard District/Coastal Development District)

General Plan Designation: Low Density Residential

Local Coastal Plan Designation: Low Density Residential

Existing Land Use: Undeveloped

Water Supply: Montara Water and Sanitary District

Sewage Disposal: Montara Water and Sanitary District

Flood Zone: Zone X (Areas of Minimal Flood Hazard), Community Panel No. 06081C0119F, Effective date August 2, 2017.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

Setting: The subject vacant property is comprised of a single lot on Ocean Boulevard, an improved, County-maintained public roadway. The parcel contains no significant size (12-inch diameter or greater) trees. Two (2) non-significant size pine trees are proposed to be removed. Single-family residences bound the parcel to the east and northwest, and vacant residentially-zoned parcels border to the south, west, and north.

Chronology:

<u>Date</u>	<u>Action</u>
March 25, 2021	- Subject application submitted
July 14, 2021	- Application Deemed Complete

August 12, 2021 - The Coastside Design Review Committee (CDRC) considered the project and recommended approval based on its conformance with Design Review District Standards.

March 23, 2022 - Planning Commission Public Hearing.

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with the General Plan**

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with the following General Plan Policies:

##### **a. Visual Resources Policies**

Policy 4.15 (*Appearance of New Development*) regulates development to promote and enhance good design, site relationships, and other aesthetic considerations. The proposed single-family residence is proposed on property in Moss Beach, one of the County's Design Review Districts. The project was reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast by the Coastside Design Review Committee at their regular meeting on August 12, 2021. The project's compliance with the applicable design review standards is discussed further in Section 5 of this report, below.

Policy 4.36 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas and to ensure that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The project was found to be compatible with the architectural style of the surrounding neighborhood.

##### **b. Urban Land Use Policies**

Policy 8.30 (*Infilling*) encourages the infilling of urban areas where infrastructure and services are available. The project complies with this policy, as the subject site is located within a developed residential area. According to the Montara Water and Sanitary District, water and sewer service connections are available for the project. Access can be provided by existing paved public streets.

## 2. Conformance with the Local Coastal Program

A Coastal Development Permit (CDP) is required pursuant to Section 6328.4 of the County Zoning Regulations for development in the Coastal Development (CD) District. The parcel is not located in a scenic corridor, nor does the property contain or adjoin an area of sensitive habitat. The property is located within of the California Coastal Commission Appeals Jurisdiction and involves a residential use which is allowed in the zoning district. Therefore, the CDP is appealable to the California Coastal Commission.

Staff has determined that the project is in compliance with applicable Local Coastal Program (LCP) Policies, elaborated as follows:

### a. Locating and Planning New Development

Policy 1.19 (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*) requires that no permit for development in the urban area shall be approved unless it can be demonstrated that it will be served with adequate water supplies and wastewater treatment facilities. As stated previously, Montara Water and Sanitary District has confirmed adequate supply and treatment capacity to serve the parcel.

Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the maximum number of new dwelling units built in the urban Midcoast to 40 units per calendar year so that roads, public services and facilities and community infrastructure are not overburdened by new residential development. As of the printing of this report, three (3) building permits for new dwelling units have been issued in 2022. This requested permit would be valid for 5 years; therefore, the project is likely to be, and would be required to be, within the building permit limit.

Policy 1.36 (*Half Moon Bay Airport Influence Area Requirements – Map 1.5*) shows that the project site is in the Half Moon Bay Airport Influence Area (Zone 7) based on the Half Moon Bay Safety Zones Map of the Airport Land Use Compatibility Plan (ALUCP) for the Environs of Half Moon Bay Airport adopted in October 2014. The aircraft accident risk level is considered to be low within Zone 7. Single-family residential uses are not prohibited within this zone. The project also meets the infill requirement of the ALUCP. Regarding noise, the site is outside of the mapped noise contours on the 2032 Noise Exposure Contours map of the ALUCP. See further discussion in Section 3.

b. Visual Resources

Policies 8.9(a) and 8.9(b) (*Trees*) require new development to minimize tree removal and to protect significant size (12-inch dia. or greater) trees per the Significant Tree ordinance. Two (2) non-significant size pine trees are proposed to be removed. No significant size trees are to be removed under the scope of this project. A tree protection plan shall be submitted at the building permit stage to protect nearby off-site trees.

Policy 8.12(a)(1) (*General Regulations*) applies the Design Review Zoning District to urbanized areas of the Coastal Zone, which includes Moss Beach. The project is, therefore, subject to Design Review criteria established by Section 6565.20 of the Zoning Regulations. The Coastside Design Review Committee (CDRC) considered this project at the regularly scheduled CDRC meeting on August 12, 2022, determined that the project is in compliance with applicable Design Review Standards, and recommended approval. See further discussion in Section 5.

Policy 8.13 (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed residence complies with these guidelines as follows:

- (1) On-site grading is not extensive and only limited to standard construction activity.
- (2) The proposed materials for the house, such as cedar siding, have a natural appearance.
- (3) The proposed house design uses gable roofs, including non-reflective, black composition shingle as the primary roof material.
- (4) The proposed house is designed to be compatible with other houses in the area since the proposed overall lot coverage of 24.9 percent (1,116 sq. ft.) is within the maximum allowed of 25 percent (1,121 sq. ft.). Additionally, the total floor area proposed is 45.5 percent (2,041 sq. ft.), lower than the maximum allowed of 48 percent (2,152 sq. ft.).

c. Geologic Hazard

Policy 9.3c (*Regulation of Geologic Hazard Areas*) requires geologic reports prepared by a certified engineering geologist consistent with "Guidelines for Geologic/Seismic Reports" for all proposed

developments. The project site is in an Earthquake hazard zone (Seal Cove). According to the Gigma Prime report, dated September 23, 2020, the subject parcel is suitable for the proposed construction and a fault trench study is not necessary. The Geotechnical Section concurs with the conclusion of the report.

d. Regulations of Development on Coastal Bluff Tops

Policy 9.8 (*Regulations of Development on Coastal Bluff Tops*) shall be applied to developments within the area between the face of the bluff and a line described on the bluff top by the intersection of a plane inclined at a 20-degree angle from the horizontal passing through the toe of the bluff or cliff, or 50 feet inland from the edge of the cliff or bluff, whichever is greater. The project site is approximately 90 feet from the edge of the bluff. Therefore, the project is not subject to Policy 9.8.

3. Conformance with the Half Moon Bay Airport Land Use Compatibility Plan

Upon review of the provisions of the Half Moon Bay ALUCP for the Environs of Half Moon Bay Airport, as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014, staff has determined that the project's site location complies with the safety, noise and height limit criteria for airport compatibility. The project site is located in the Half Moon Bay Airport Zone 7, Airport Influence Area (AIA), where accident risk level is considered to be low. The AIA Zone does not prohibit residential use. The proposed project complies with all AIA development conditions in the Safety Criteria Matrix of the ALUCP such as preventing hazards to flights as the proposed height of 28 feet does not penetrate the established airspace threshold. The project site is outside of the defined aircraft noise exposure contours and, therefore, would not be exposed to high levels of aircraft noise.

4. Conformance with S-105 District Development Standards

A summary of the proposal's compliance with the property's R-1/S-105 Zoning Designation is provided in the following table. Areas of project non-compliance, as noted with an asterisk "\*", are addressed by the requested Non-Conforming Use Permit, as discussed in Section A.6.c of this report, below:



	<b>S-105 Development Standards</b>	<b>Proposed</b>
Building Site Area	20,000 sq. ft.	4,484 sq. ft.*
Building Site Width	75 ft.	50.02 sq. ft.*
Maximum Building Site Coverage	(25%) 5,000 sq. ft.	(24.9%) 1,116 sq. ft.
Maximum Floor Area	(48%) 9,600 sq. ft.	(45.5%) 2,041 sq. ft.
Minimum Front Setback	20 ft.	20 ft.
Minimum Rear Setback	20 ft.	20 ft.
Minimum Right Side Setback	10 ft.	10 ft.
Minimum Left Side Setback	10 ft.	10 ft.
Maximum Building Height	28 ft.	28 ft.
Minimum Parking Spaces	2	1*
Facade Articulation	Finding by CDRC	Complies

The proposed two-story single-family residence meets height standards and complies with maximum lot coverage and floor area, facade articulation requirements, maximum building height, and setback requirements of the S-105 Zoning District. The subject parcel has a non-conforming lot size of 4,484 sq. ft. and width of 50.02 feet. The project also provides only one covered parking space where two are required. The project requires a Non-Conforming Use Permit to address these issues, as discussed in Section 6 of this report, below.

5. Conformance with Design Review District Standards

The Coastside Design Review Committee (CDRC) considered the project at their regularly scheduled meeting on August 12, 2021. At that meeting, the CDRC adopted the findings to recommend project approval (Attachment D), pursuant to the Design Review Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors; a. Compatibility; Standards: The home features muted exterior colors and materials, that complement the style of the neighborhood, reduce the apparent mass of the structure, and are consistent with the style of the home and surrounding homes.
- b. Section 6565.20 (A)2.a. PRIVACY: Adequate landscaping is proposed to avoid direct views into neighboring residences.
- c. Section 6565.20 (D) ELEMENTS OF DESIGN; 2.d. Architectural Style-garages: The design avoids making the garage the dominant feature as seen from the street.

6. Conformance with Non-Conforming Use Permit Findings

Chapter 4 (*Zoning Nonconformities*) of the Zoning Regulations regulates development on non-conforming parcels. Section 6133.3.b requires the issuance of a use permit when a parcel is below a specified non-conforming size and/or width in comparison to the requirements of the applicable zoning district. In the case of the subject unimproved parcel, the S-105 Zoning District requires a minimum parcel size of 20,000 sq. ft. and a minimum of 75 feet in lot width. Section 6133.3.b requires a use permit for development of parcels that are less than 5,000 sq. ft. in size and/or less than 50 feet in lot width. The subject parcel is 4,484 sq. ft. in size and 50.02 feet in lot width, and therefore, a non-conforming Use Permit is required for development. For parcels in the Midcoast, Section 6137 of the Zoning Regulations prohibits the granting of a use permit to exceed the floor area, lot coverage, and height limits of the applicable zoning district. As noted above, the proposed project complies with these requirements.

In order to grant the use permit, the Planning Commission must make the following findings:

- a. **That the proposed development is proportioned to the size of the parcel on which it is being built.**

As described in Section 4 of this report, the project complies with the lot coverage, floor area ratio, and height requirements of the R-1/S-105/DR/GH/CD Zoning District, which regulates the size of development. Therefore, the proposed development is proportioned to the size of the parcel on which it is being built.

- b. **That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations, currently in effect, have been investigated and proven to be infeasible.**

The subject parcel borders a single-family residence to the east, and a vacant residential parcel to the north. The property owner attempted to acquire the adjacent vacant parcel. However, the owner of the vacant parcel was not interested in selling the parcel. In addition, the developed parcel to the east contains a non-conforming residence, which maintains a non-conforming setback from the common property line, thus this adjacent parcel is also not a candidate for expansion of the subject parcel.

- c. **That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

Despite the narrow width and substandard size of the parcel, the project is in conformance with the lot coverage and floor area limits of the S-105 Zoning District. Also, the project is in conformance with the height limits of the zoning district.

The project does not comply with County parking requirements for two covered parking spaces for all dwellings of two or more bedrooms. The subject parcel has a non-conforming lot size of 4,484 sq. ft. and a non-conforming width of 50.02 ft. In order to have a reasonable living space and meet the setback, floor area, and lot coverage requirements, the applicant requests for an exception to the covered parking requirement. The reduced covered parking allows the project to avoid making the garage a dominant feature as seen from the street. In addition, future occupants of the proposed residence will be able to utilize the proposed driveway for parking.

- d. **That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.**

The design of the project proposes conforming setbacks, and the design has received preliminary approval or no comments from reviewing agencies, including the Planning Department, Building Inspection Section, the Drainage Section, the Geotechnical Section, Department of Public Works, California Coastal Commission, Midcoast Community Council, Montara Water and Sanitary District, and Coastside Fire Protection District. Conditions from these agencies have been incorporated in the conditions of project approval in Attachment A.

- e. **That the Use Permit approval does not constitute a granting of special privileges.**

This project does not constitute a granting of special privileges, as the project is as nearly in conformity with the R-1/S-105/DR/GH/CD Zoning District regulations as is reasonably possible, given the substandard size and width of the parcel.

## B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL (MCC)

A project referral was sent to the MCC and they indicated that they have approved the project with conditions. MCC's conditions have been incorporated in the conditions of project approval in Attachment A.

D. REVIEW BY THE CALIFORNIA COASTAL COMMISSION (CCC)

A project referral was sent to the CCC and no comments were received.

E. REVIEWING AGENCIES

Building Inspection Section  
Drainage Section  
Geotechnical Section  
Coastside Fire Protection District  
Montara Water and Sanitary District  
California Coastal Commission  
Midcoast Community Council  
Department of Public Works

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. Coastside Design Review Committee Decision Letter, dated August 12, 2021

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County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2020-00392

Hearing Date: April 13, 2022

Prepared By: Glen Jia, Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements and standards of the San Mateo County Local Coastal Program. Specifically, the project complies with policies regarding minimization of tree removal and design review standards.
3. That where the project is located between the nearest public road and the sea, or the shoreline of Pescadero Marsh, that the project is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code).
4. That the project conforms to the specific findings required by policies of the San Mateo County Local Coastal Program as discussed in section 2 of the staff report.
5. That the number of building permits for construction of single-family residences other than for affordable housing issued in the calendar year does not exceed the limitations of Policies 1.22 and 1.23 as stated in Section 6328.19. As of the printing of this report, three (3) building permits for new dwelling units have been issued in 2022. This requested permit will be valid for 5 years; therefore, the project is likely to be, and would be required to be, within the building permit limit.

Regarding the Non-Conforming Use Permit, Find:

6. That the proposed development is proportioned to the size of the parcel on which it is being built. The project complies with the lot coverage, floor area ratio, and height requirements of the R-1/S-105/DR/GH/CD Zoning District, which regulates the size of development. Therefore, the proposed development is proportioned to the size of the parcel on which it is being built.
7. That all opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations, currently in effect, have been investigated and proven to be infeasible. The subject parcel borders a single-family residence to the east, and a vacant residential parcel to the north. The subject parcel borders a single-family residence to the east, and a vacant residential parcel to the north. The property owner attempted to acquire the adjacent vacant parcel. However, the owner of the parcel was not interested in selling the parcel. In addition, the developed parcel to the east contains a non-conforming residence, which maintains a non-conforming setback from the common property line, thus this adjacent parcel is also not a candidate for expansion of the subject parcel.
8. That the proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. The project is in conformance with the maximum lot coverage and floor area, facade articulation requirements, maximum building height, and setback requirements of the S-105 Zoning District. The project conforms to the required minimum front, side and rear setbacks. The project does not comply with County parking requirements for two covered parking spaces for all dwellings of two or more bedrooms.
9. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. The design of the project proposes compliant setbacks, building height and floor area ratio; Therefore, planning staff does not anticipate any significant adverse impacts to coastal resources or the neighborhood. The project has received preliminary approval or no comments from review agencies, including the Planning Department, Building Inspection Section, the Drainage Section, the Geotechnical Section, Department of Public Works, California Coastal Commission, Midcoast Community Council, Montara Water and Sanitary District, and Coastside Fire Protection District.
10. That the use permit approval does not constitute a granting of special privileges. For the reasons stated above, this project does not constitute a granting of special privileges, as the project is as nearly in conformance with the R-1/S 105/DR/GH/CD Zoning District regulations as is reasonably possible, given the substandard size and width of the parcel.

Regarding the Design Review, Find:

10. That the project, as proposed and conditioned, has been reviewed and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
  - a. Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors; a. Compatibility; Standards: The home features muted exterior colors and materials, that complement the style of the neighborhood, reduce the apparent mass of the structure, and are consistent with the style of the home and surrounding homes.
  - b. Section 6565.20 (A)2.a. PRIVACY: The rooftop deck is designed to avoid direct views into neighboring houses and outdoor decks/patios, accessed by interior means, and integrated into the roof design.
  - c. Section 6565.20 (D) ELEMENTS OF DESIGN; 2.d. Architectural Style-garages (1) The design avoids making the garage the dominant feature as seen from the street.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Planning Commission on April 13, 2022 and as reviewed by the Coastside Design Review Committee on August 12, 2021. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The Coastal Development Permit, Non-Conforming Use Permit, and Design Review approvals shall be valid for five (5) years from the date of final approval in which time a building permit shall be issued and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
3. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The

applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site:

- a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to the Planning Department approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
4. The applicant shall indicate the following on plans submitted for a building permit, as stipulated by the Coastside Design Review Committee.
  5. Bay window shall be added at office / guest room, centered above windows below, with accent siding, to better meet Section 6565.20 (D) ELEMENTS OF DESIGN; e. wall articulation standards.
  6. Coordinate drawings and application forms with regard to window specification as Fleetwood brand, black finish.



7. Coordinate elevations and renderings to indicate one triangular window at stair, left edge aligned with windows above.
8. Clarify and coordinate drawings to show no fence at property line.
9. The gravel shall be extended to provide additional area for parking – relocate plants closer to property line to provide screening for neighbor.
10. One dark sky compliant exterior light shall be added at each rear/west patio door.
11. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including, but not limited to, the following:
  - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
  - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - c. Performing clearing and earth-moving activities only during dry weather.
  - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
  - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
  - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilization of designated access points.

- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
  - m. Additional Best Management Practices, in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
  - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
12. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, minimize the transport and discharge of stormwater runoff from the construction site into storm drain systems and water bodies by:
- a. Using filtration materials on storm drain covers to remove sediment from dewatering effluent.
  - b. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
  - c. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
  - d. Storing, handling, and disposing of construction materials and wastes so as to avoid their entry to the storm drain system or water body.
  - e. Avoiding cleaning, fueling or maintaining vehicles on-site, except in an area designated to contain and treat runoff.
  - f. Limiting and timing application of pesticides and fertilizers to avoid polluting runoff.
13. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

14. All new power and telephone utility lines from the street or nearest existing utility pole to the dwelling and/or any other structure on the property shall be placed underground.
15. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Geotechnical Section, the Montara Water and Sanitary District, and the Coastside Fire Protection District.
16. No site disturbance shall occur, including any vegetation removal or grading, until a building permit has been issued.
17. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on Precita Avenue and Ocean Boulevard. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on either street. There shall be no storage of construction vehicles in the public right-of-way.
18. The project site is located within the Fitzgerald Area of Special Biological Significance (ASBS) watershed. Runoff and other polluted discharges from the site are prohibited. Development shall minimize erosion, treat stormwater from new/replaced impervious surfaces, and prevent polluted discharges into the ASBS or a County storm drain (e.g., car washing in a driveway or street, pesticide application on lawn).
19. The exterior color samples submitted to the CDRC are conditionally approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

20. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo County Ordinance Code Section 4.88.360).
21. Installation of the approved landscape plan is required prior to final inspection.
22. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance and provide required forms. Water Efficient Landscape Ordinance applies to new landscape projects equal to or greater than 500 square feet. A prescriptive checklist is available as a compliance option for projects under 2,500 square feet. Water Efficient Landscape Ordinance also applies to rehabilitated landscape projects equal to or greater than 2,500 square feet. The following restrictions apply to projects using the prescriptive checklist:
  - a. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
  - b. Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75 percent of the plant area excluding edibles and areas using recycled water.
  - c. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
  - d. Turf: Total turf area shall not exceed 25 percent of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25 percent and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.
  - e. Irrigation System: The property shall certify that irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor; Irrigation controller programming data will not be lost due to an interruption in the primary power source; and areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.

23. At the building permit application stage, the applicant shall submit a tree protection plan, including the following:
- a. Identify, establish, and maintain tree protection zones throughout the entire duration of the project.
  - b. Isolate tree protection zones using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the arborist's report.
  - c. Maintain tree protection zones free of equipment and materials storage; contractors shall not clean any tools, forms, or equipment within these areas.
  - d. If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topplers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting.
  - e. Normal irrigation shall be maintained, but oaks shall not need summer irrigation, unless the arborist's report directs specific watering measures to protect trees.
  - f. Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2 by 4 boards in concentric layers to a height of 8 feet.
  - g. Prior to Issuance of a building permit or demolition permit, the Planning and Building Department shall complete a pre-construction site inspection, as necessary, to verify that all required tree protection and erosion control measures are in place.

Coastside Design Review Committee

24. An eyebrow roof or trellis over garage door shall be added so that downlight is incorporated into the roof.
25. Near bedroom 2, one of the shrubs shall be changed to 1-2 New Zealand Christmas trees, or plantings of equivalent size, to provide screening adjacent to neighbor's house.

### Building Inspection Section

26. A building permit shall be obtained for the proposed construction.

### Drainage Section

27. A drainage report, drainage and grading plans (stamped and signed by a registered civil engineer), and C3/C6 form are required at the building permit stage.
28. Site specific erosion control plans and County Best Management Practices plan sheet are required at the building permit stage.

### Department of Public Works

29. Prior to the issuance of the building permit or planning permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.
30. Prior to the issuance of the building permit or planning permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
31. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

32. Prior to the issuance of building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

#### Geotechnical Section

33. A Geotechnical Report shall be submitted prior to the issuance of building permit; the report shall be updated to the current adopted code. Significant grading profiles, grading proposals, foundation design recommendations, retaining wall design recommendations, and basement design recommendations, if any, shall be provided in the geotechnical report at building stage. For a vacant site, the Geotechnical Report shall provide sufficient soil investigation data to evaluate the potential hazards, for example, expansive soils, soil corrosivity, weak soil strength, and liquefaction. If any hazards are found, mitigation shall be provided in foundation design and grading proposal.

#### Montara Water and Sanitary District (MWSD or District)

34. Applicant required to submit MWSD application for new connections.
35. Applicant required to obtain sewer permits prior to issuance of building permit. Sewer connection fees must be paid prior to issuance of connection permit. Sewer mainline extension may be required. Grinder pump and pressurized lateral may be required.
36. The applicant is required to obtain a Domestic Water Connection Permit prior to issuance of building permit. Connection fee for domestic water must be paid prior to issuance of connection permit. Proof of well abandonment to San Mateo County Health Services may be required.
37. Connection to the District's fire protection system is required. Certified Fire Protection Contractor must certify adequate fire flow calculations. Connection fee for fire protection system is required. Connection charge must be paid prior to issuance of Private Fire Protection permit.
38. Applicant must first apply directly to District for permits and not their contractor.

#### Coastside Fire Protection District

39. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2019-03, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and reconditioned sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery

powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.

40. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
41. As per Coastside Fire Protection District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
42. As per Coastside Fire Protection District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as pan of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
43. Vegetation Management (LRA) -The Coastside Fire Protection District Ordinance 2019-03, the 2019 California Fire Code 304.1.2:
44. A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees.
45. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
46. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.



47. Fire Hydrant: As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
48. Fire Access Roads - The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire Protection District Ordinance 2019-03, and the California Fire Code shall set road standards. As per the 2019 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire Protection District specifications. As per the 2019 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20-foot road) and on-street parking is desired, an additional improved area shall be developed for that use.
49. 2019 CFC Section 503.1.1: The fire department access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior walls of the first floor.
50. Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire Protection District Ordinance Number 2019-03, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 sq. ft. with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Department. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire Protection District for review.
51. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with a trench open. Please call Coastside Fire Protection District to schedule an inspection. Fees shall be paid prior to plan review.

52. Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
53. Solar Photovoltaic Systems: These systems shall meet the requirements of the 2019 CFC Section 605.11.

GJI:cmc – GJIGG0096\_WCU.DOCX



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**



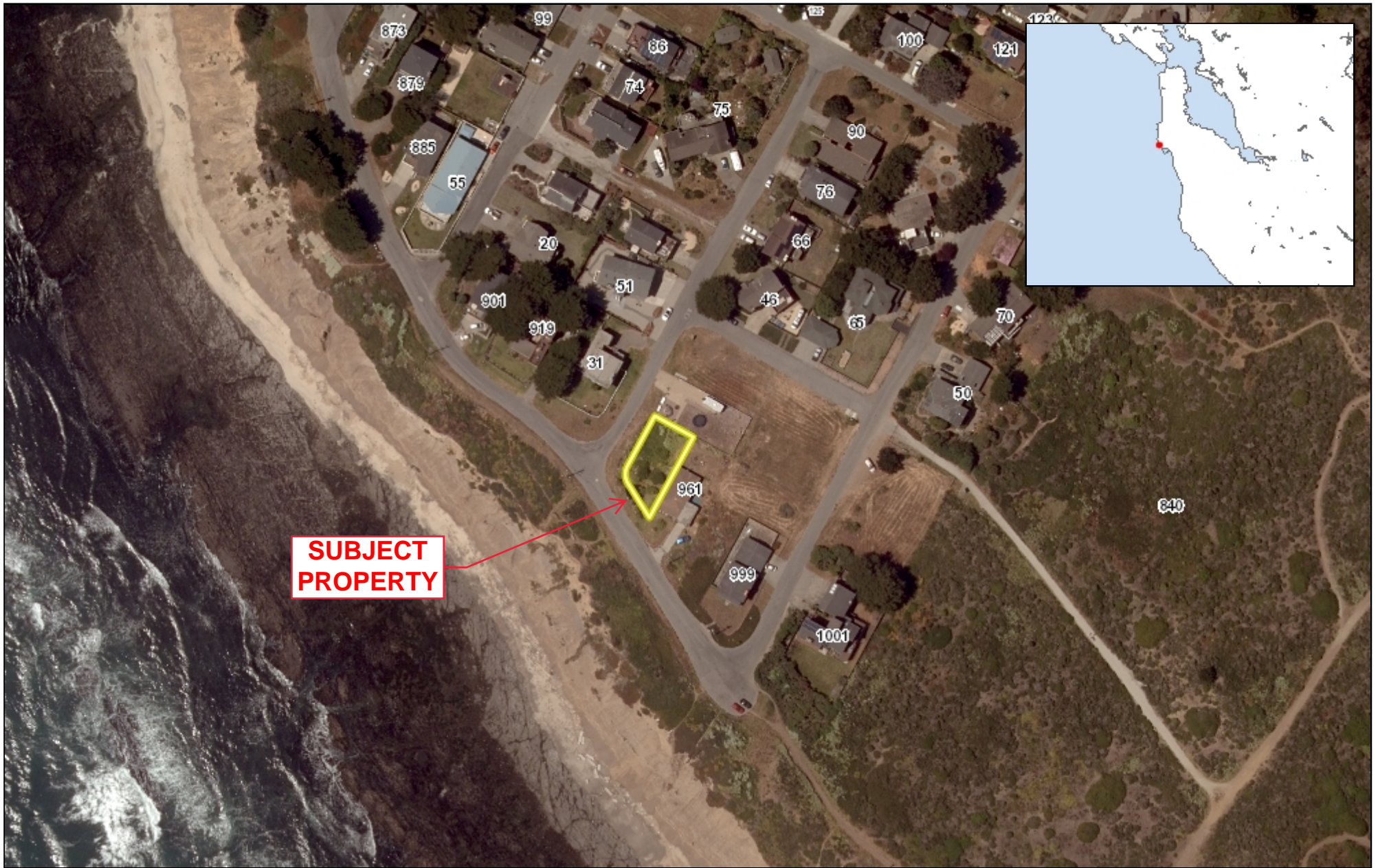
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© Latitude Geographics Group Ltd.

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This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**SUBJECT  
PROPERTY**

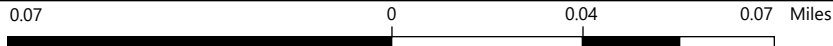
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1:2,257

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



1:2,257 



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**



**SITE DATA:**

APN: 037-278-010  
 ZONING: R-1/S-105/DR/GH/CD  
 OCCUPANCY GROUP: R-3/U  
 TYPE OF CONSTRUCTION: V-B  
 GEOTECHNICAL HAZARD ZONE: 2 & 3  
 PRE: 2020-00046  
 PLN: 2020-00392  
 BLD:

**APPLICABLE CODES:**  
 SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

**OWNER:** DAVID MADWED & KATHLEEN CHEPLO  
 258 TENNYSON AVE  
 PALO ALTO, CA 94301  
 dmadwed@gmail.com  
 kcheplo@gmail.com

**ARCHITECT :** EDWARD C LOVE, ARCHITECT  
 720 MILL ST  
 HALF MOON BAY, CA 94019  
 650.728.7615  
 edwardclovearch@gmail.com  
 LIC# C23077

**CONSULTANTS:**  
**GEOTECHNICAL ENGINEERING:** SIGMA PRIME GEOSCIENCES INC.  
 332 PRINCETON AVE  
 HALF MOON BAY 94019  
 650.722.0219

**STRUCTURAL ENGINEER:** BRIAN DOTSON  
 PO BOX 371022  
 MONTARA, CA 94037  
 650.722.0219  
 LIC# C67963

**TITLE 24:** ENERGY CALC CO  
 45 MITCHELL BLVD., SUITE 16  
 SAN RAFAEL, CA 94903  
 415.457.0990

**LANDSCAPING:** FLORA FARM  
 340 PURISSIMA ST  
 HALF MOON BAY, CA 94019  
 LIC #549103  
 650.678.5801  
 florafarmhmb@yahoo.com

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	4484							
LOT COVERAGE	0	0.0	1116	24.9	1116	24.9	1121	25.0
FLOOR AREA			FIRST FLOOR	877	FIRST FLOOR	877		
			SECOND FLOOR	958	SECOND FLOOR	958		
			GARAGE	206	GARAGE	207		
Total	0	0.0	Total	2041	45.5	Total	2041	45.5
			Total			Total	2152	48.0

**SCOPE OF WORK:**

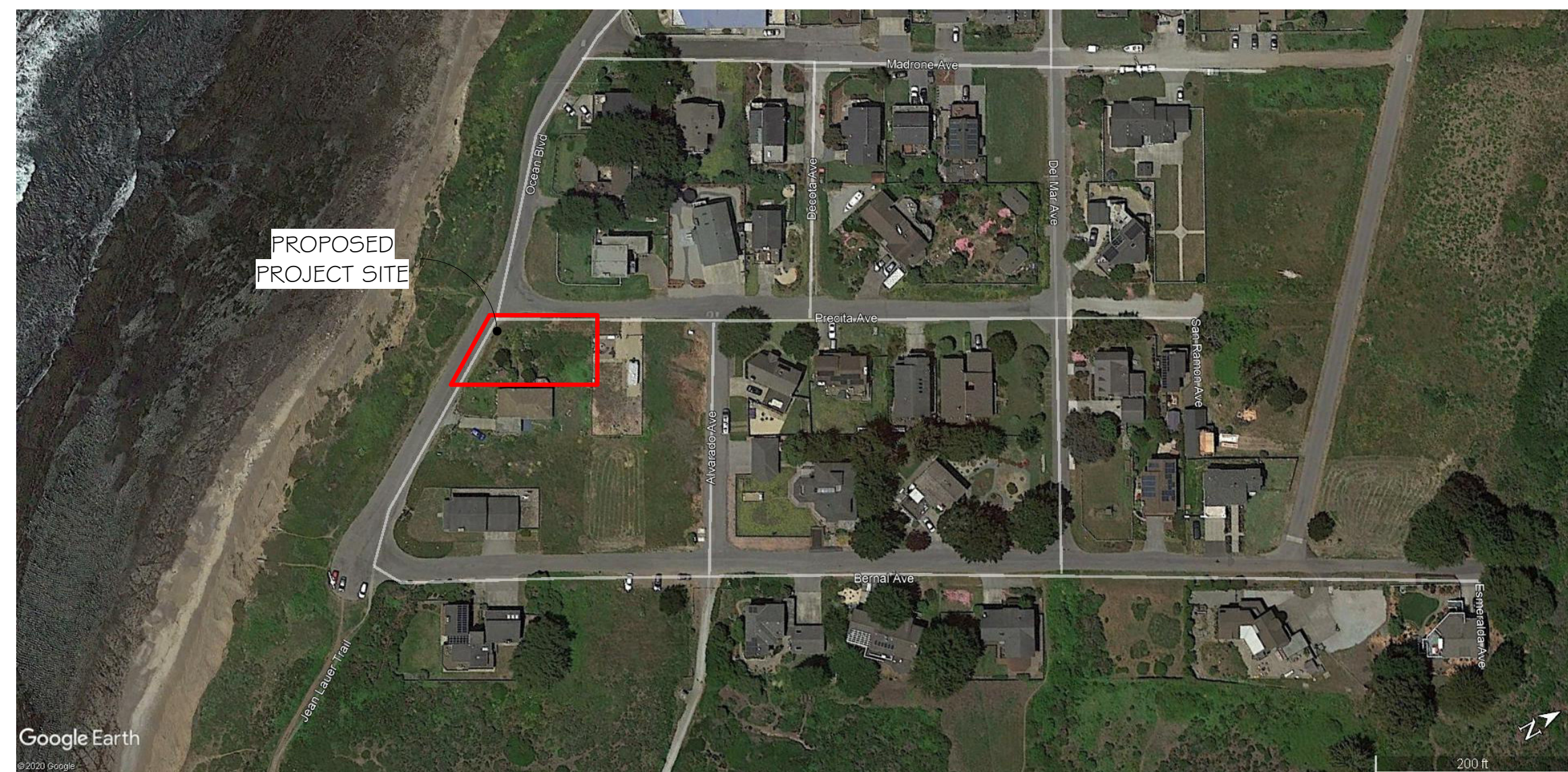
NEW 2-STORY WOOD FRAME SINGLE FAMILY RESIDENCE W/ ATTACHED ONE-CAR GARAGE

**NOTE:**

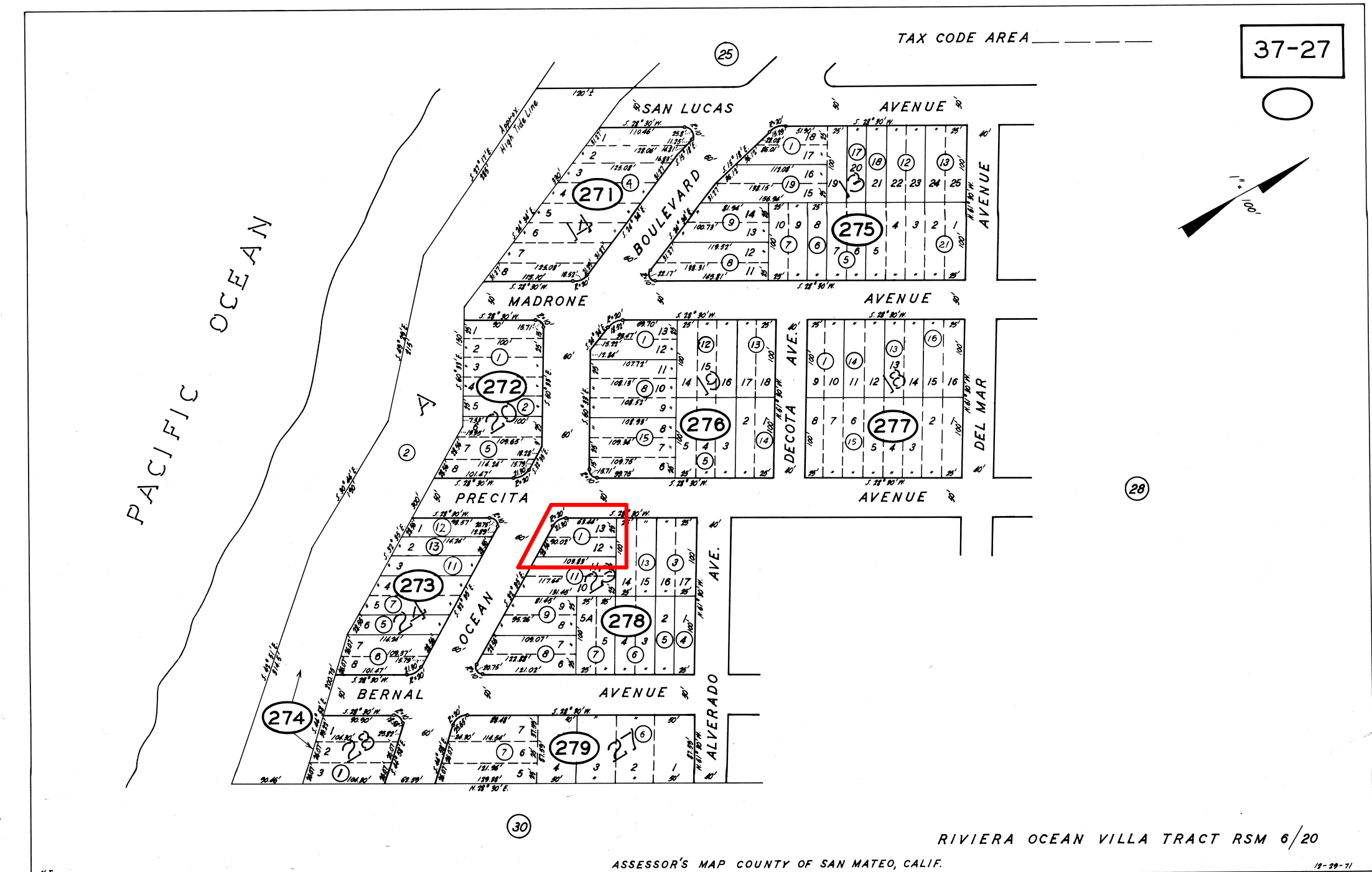
- ALL EXTERIOR LIGHTING TO BE DARKSKY
- RESIDENCE TO BE FIRE SPRINKLERED

**Sheet List - Design**

Sheet Number	Sheet Name
A0.01	Cover Sheet
SU.1	Survey
A0.03	Site Plan
C.1	Grading & Drainage Plan
C.2	Erosion Control Plan
C.3	Best Management Practices
A1.01	First Floor Plan
A1.02	Second Floor Plan
A1.03	Roof Plan
A1.04	Floor Area Calculations
A2.01	Elevations - West & North
A2.02	Elevations - East & South
A3.01	Section Views
A5.01	Details - Products
A5.02	Details
LP.	Landscape Plan



SATELLITE VIEW OF PROPERTY



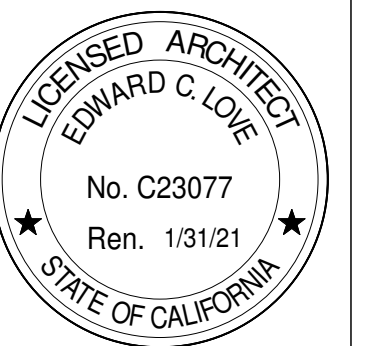
REVISIONS



Edward C. Love  
 Architect  
 720 MILL STREET  
 HALF MOON BAY, CA 94019  
 (650) 728-7615  
 edwardclovearch@gmail.com

New Home for  
 D Madwed & K Cheplo  
 258 Tennyson Ave  
 Palo Alto, CA 94301

Cover Sheet



DATE: 04/29/2021

SCALE:

DRAWN: GMH

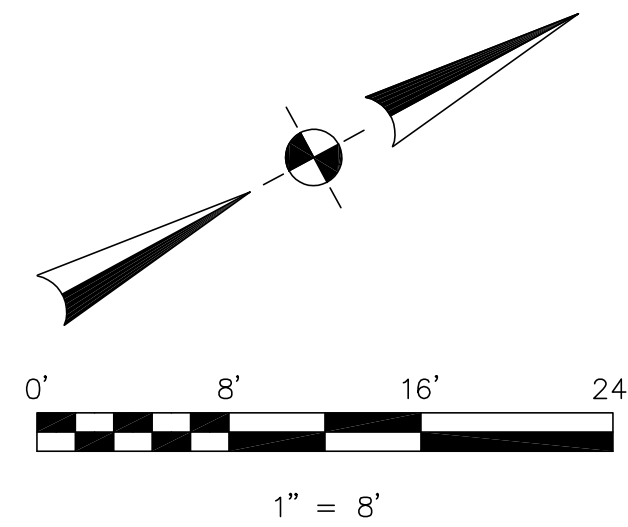
JOB: MADWED-CHEPLO

SHEET:

A0.01

OF SHEETS





**BASIS OF BEARINGS**

THE BEARING, NORTH 28°30' EAST, OF BERNAL AVENUE (OUTSIDE MAPPING LIMITS), AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED "RIVIERA OCEAN TRACT" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 20, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID H11812), LOCATED ON TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE CONCRETE HEADWALL AT THE JUNCTION OF HIGHWAY 1 AND ETHELDORE STREET. ELEVATION = 60.91 FEET. SITE BENCHMARK IS THE SANITARY SEWER MANHOLE LID WITH AN ELEVATION OF 111.00 FEET.

**NOTES:**

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55915-20-00266, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

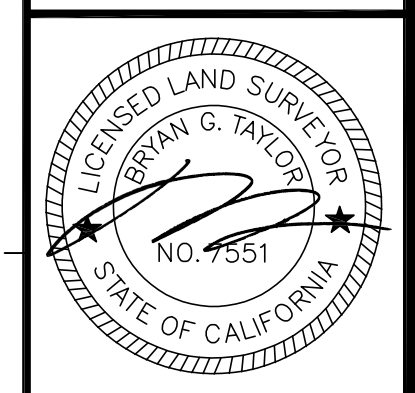
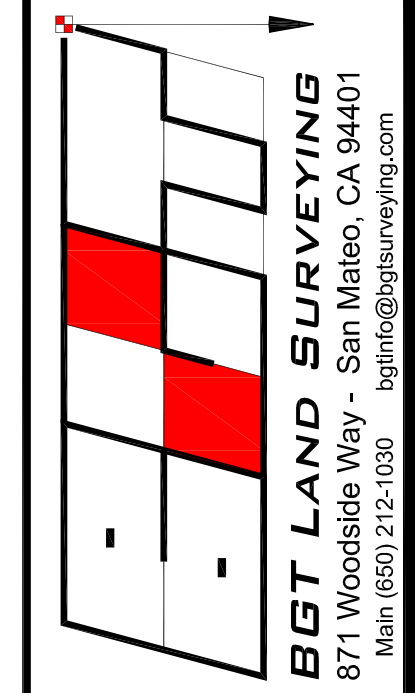
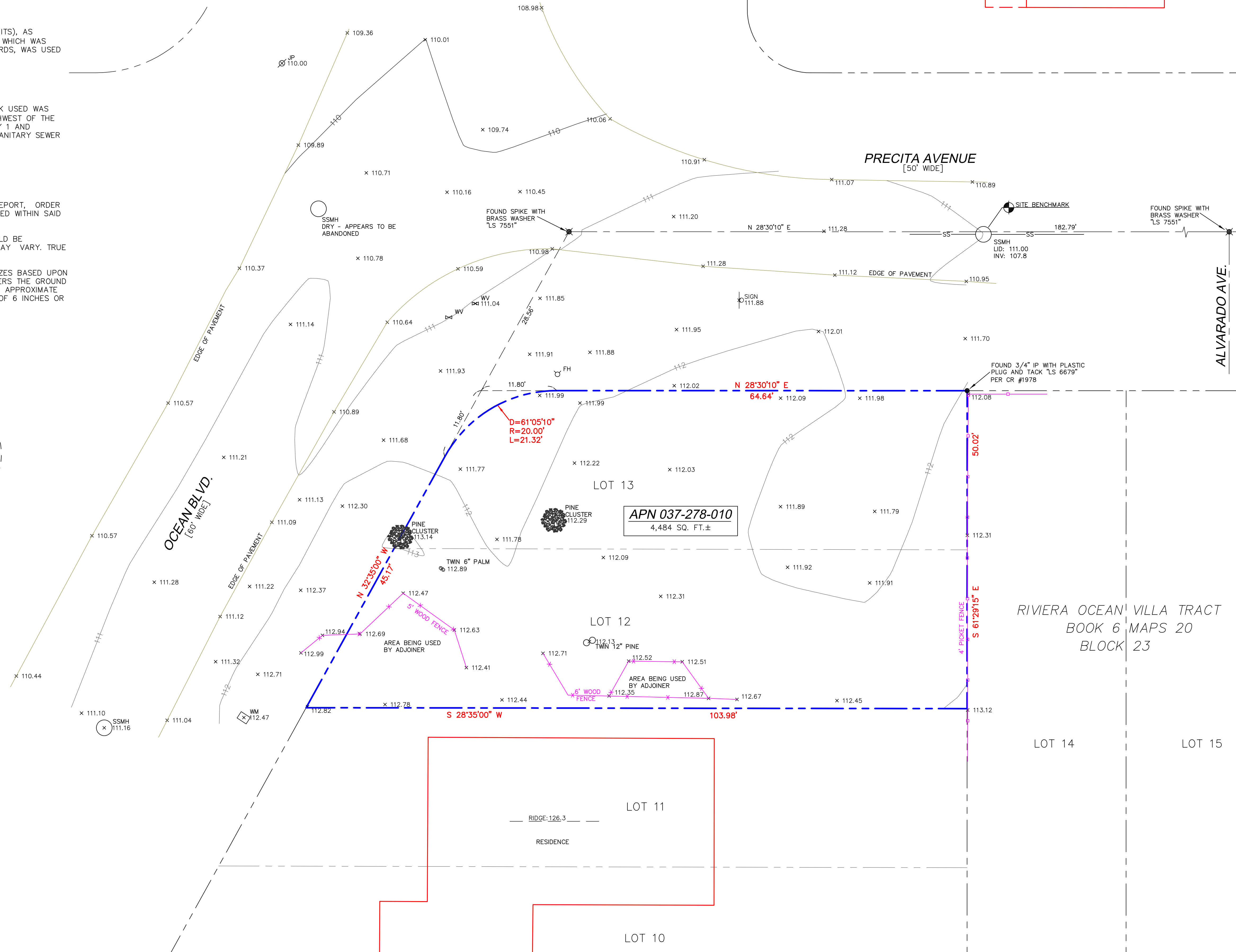
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtssurveying.com

DATE OF FIELD SURVEY: JANUARY 15, 2020  
JOB NUMBER: 20-067

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOTS 12-13, BLOCK 23, "MAP OF RIVIERA OCEAN VILLA TRACT" (BOOK 6 MAPS 20)  
**VACANT LOT, 000 OCEAN BLVD.**  
 MOSS BEACH, COUNTY OF SAN MATEO, CALIFORNIA

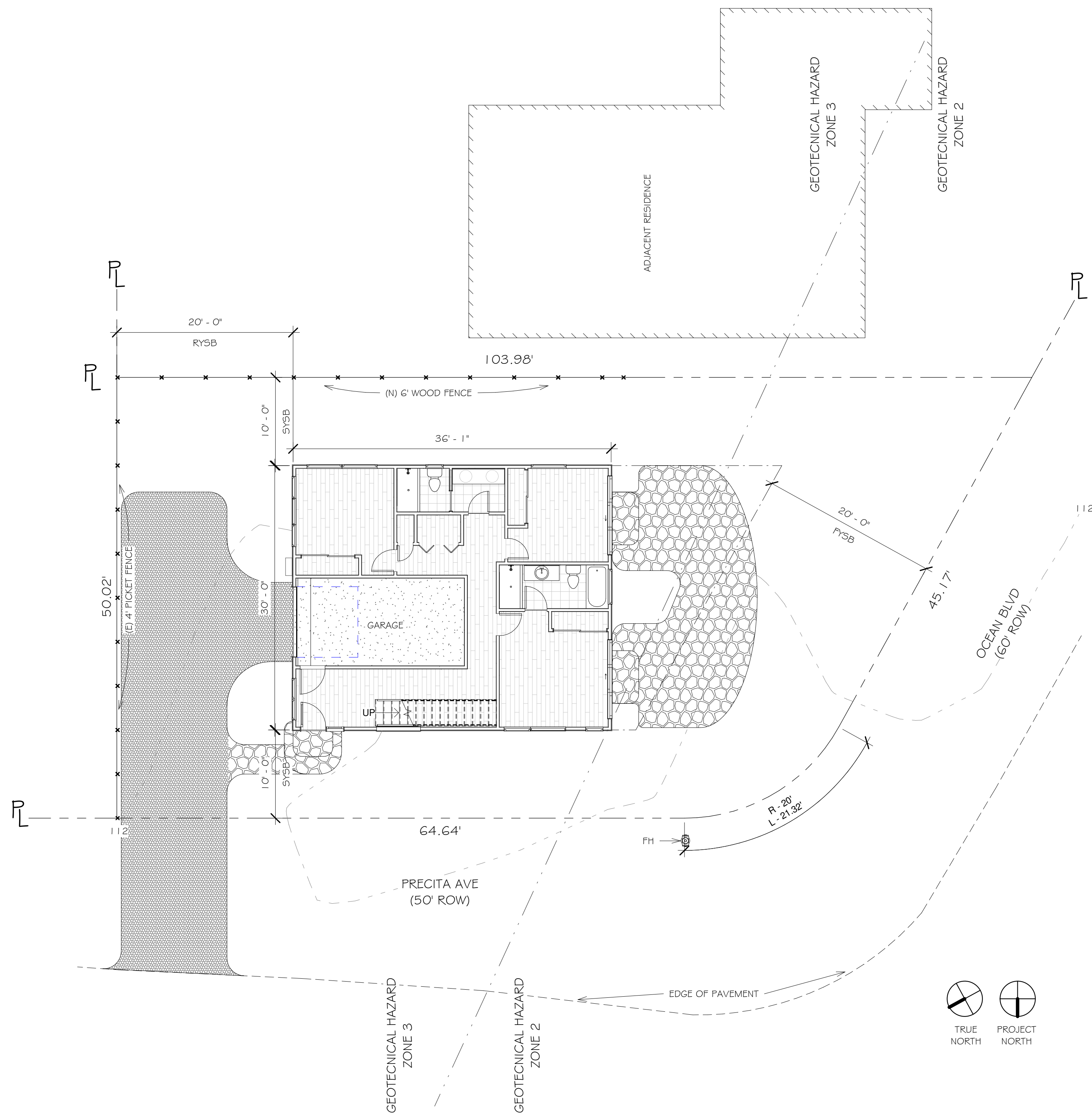
RIVIERA OCEAN VILLA TRACT  
 BOOK 6 MAPS 20  
 BLOCK 23

Assessor Parcel Number:  
 037-278-010  
 Prepared For:  
 CARDINAL CUSTOM  
 CONSTRUCTION  
 258 ENNYSON AVENUE  
 PALO ALTO, CA 94301  
 Date: MAY 2020  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revisions:

**SU-1**  
 Job No. 20-067

S:\Client Projects 2020\Madwed-Cheplo\Rev\1\MadwedCheplo.rvt

1 Site  
1/8" = 1'-0"



SEAL COVE GEOLOGICAL ZONES	
<p><b>ZONE 2:</b> Includes all lands within a 100-foot wide zone located immediately adjacent to the zone of active landsliding and accelerated seacliff erosion (i.e. Zone 1). The position of the eastern boundary of this zone is established in part by an approximate 2:1 (i.e. 26± degrees) projection measured from the base of the high seacliff located west of Ocean Boulevard.</p>	<p><b>QUESTIONABLE STABILITY:</b> Risk to development in this zone is considered to be moderate to high. Eastward progression of active landsliding is difficult to predict with reliable accuracy.  The likelihood of eliminating the risk is very low, however it may be possible to significantly reduce the impact of the hazard by properly designed foundations.  No development should be allowed in this zone until stability is clearly demonstrated by the required geotechnical investigations.</p>
<p><b>ZONE 3:</b> Includes all lands located outside of the areas affected by active or potential landslides.</p>	<p><b>MOST STABLE</b> Risk to development in this zone is considered to be low to moderate. The major geologic hazard in this zone is the threat of surface faulting along the master fault trace and several branching fault traces of the Seal Cove fault. These faults are active and capable of producing damaging surface faulting, strong ground shaking and ground failure.  The relative risk associated with poor surface drainage and potentially expansive soils is generally regarded as moderate to locally high.  The feasibility of reducing the risk to acceptable levels in this zone is considered high. This can be accomplished by careful siting of homes away from active faults, using careful structural and foundation design and adequate surface drainage plans. However, it is possible that some residential parcels will be judged unbuildable due to high seismic hazards.  Development should be allowed in this zone on parcels found to be free of hazardous conditions by the required geotechnical investigations.</p>

THIS SITE PLAN IS BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY BY BGT LAND SURVEYING DATED 05/2020

THE GEOTECHNICAL HAZARD ZONING BASED ON THE GEOTECHNICAL HAZARD MAP : SEAL COVE STUDY AREA BY WILLIAM COTTON & ASSOCIATES DATED 08/1980

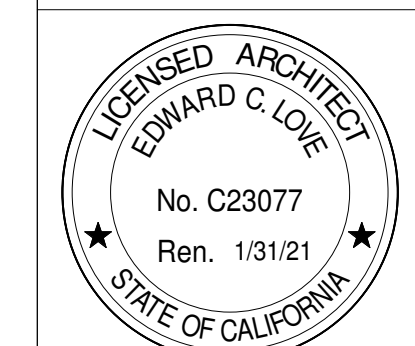
REVISIONS



Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
edwardclovearch@gmail.com

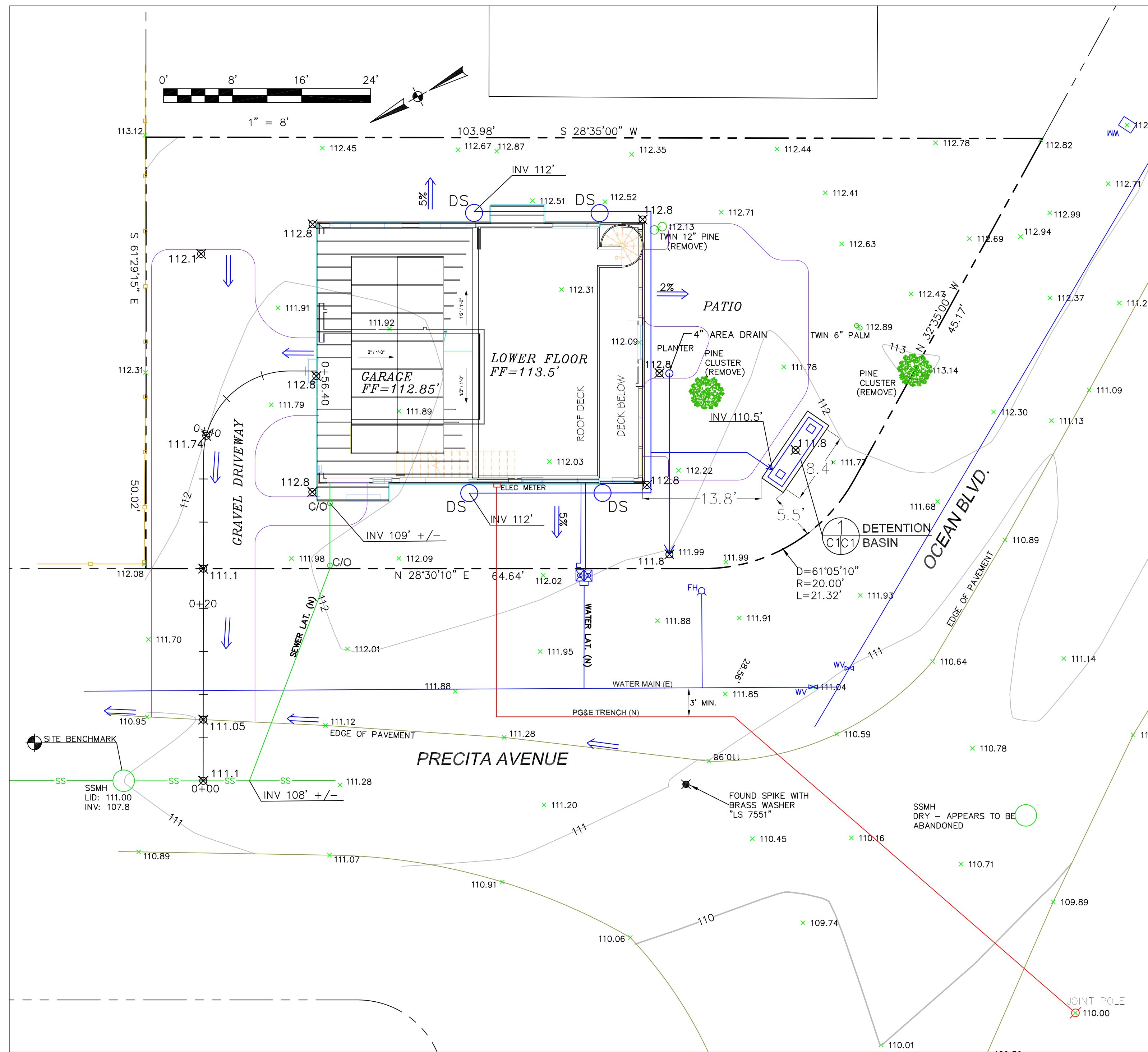
New Home for  
D Madwed & K Cheplo  
258 Tennyson Ave  
Palo Alto, CA 94301

Site Plan



DATE: 04/29/2021  
SCALE: As indicated  
DRAWN: GMH  
JOB: MADWED-CHEPLO  
SHEET:

A0.03  
OF SHEETS



**LEGEND**

- (E) CONTOUR (1/2-FOOT CONTOURS)
- DS DOWNSPOUT
- PROPOSED SPOT ELEVATION
- 4" MIN SOLID DRAIN PIPE

**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: DAVID MADWED, OWNER
- TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED JANUARY 15, 2020.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM NAVD88.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL REPORT FOR PROPOSED RESIDENCE, OCEAN BOULEVARD, MOSS BEACH.** DATE: SEPTEMBER 23, 2020, BY SIGMA PRIME INC., PROJECT NO. 19-138 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTACT NUMBER (650)-728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650)-295-3650 TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**GRADING NOTES**

CUT VOLUME: 40 CY (FOR FOUNDATION)  
 FILL VOLUME: 0 CY

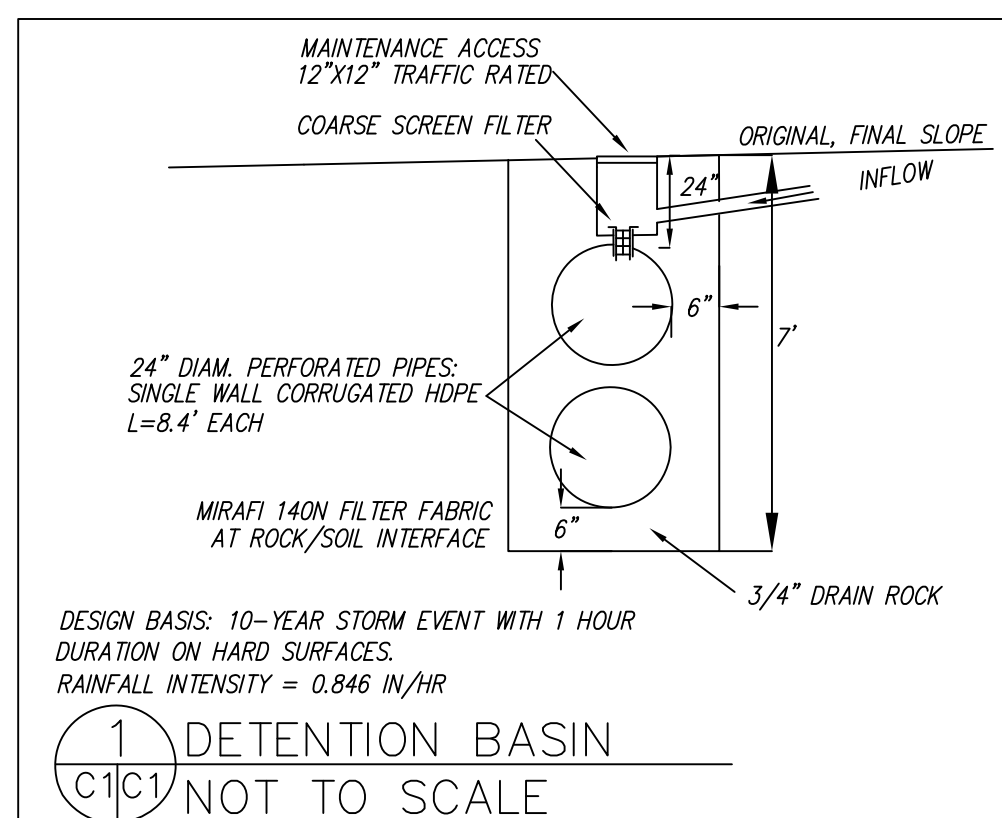
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

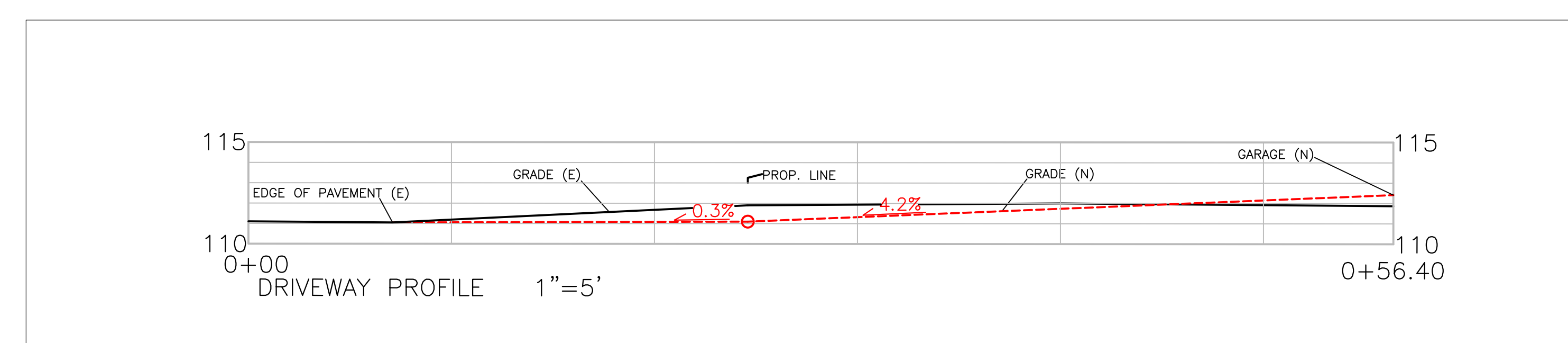
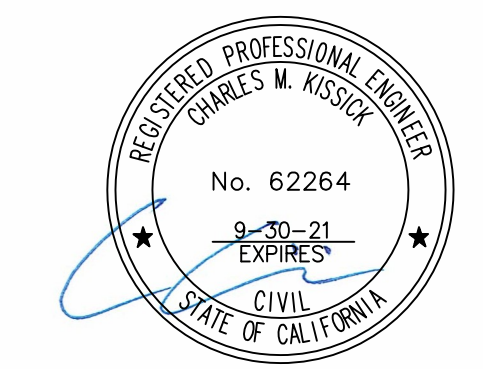
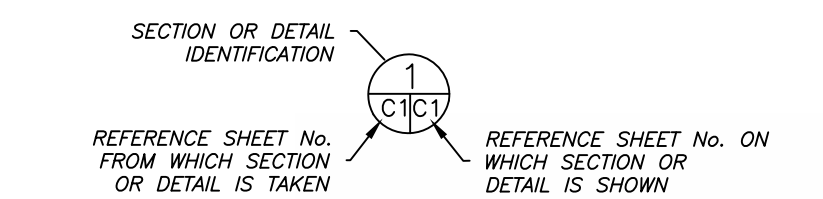
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



**SECTION AND DETAIL CONVENTION**



DATE: 10-28-20	DRAWN BY: CMK	DATE: 10-28-20	NO. 62264
	CHECKED BY: AZG		
DATE: 10-28-20	DRAWN BY: CMK	DATE: 10-28-20	NO. 62264
	CHECKED BY: AZG		
	REV. DATE:		
DATE: 10-28-20	DRAWN BY: CMK	DATE: 10-28-20	NO. 62264
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REV. DATE:		DATE: 10-28-20	NO. 62264

GRADING AND DRAINAGE PLAN

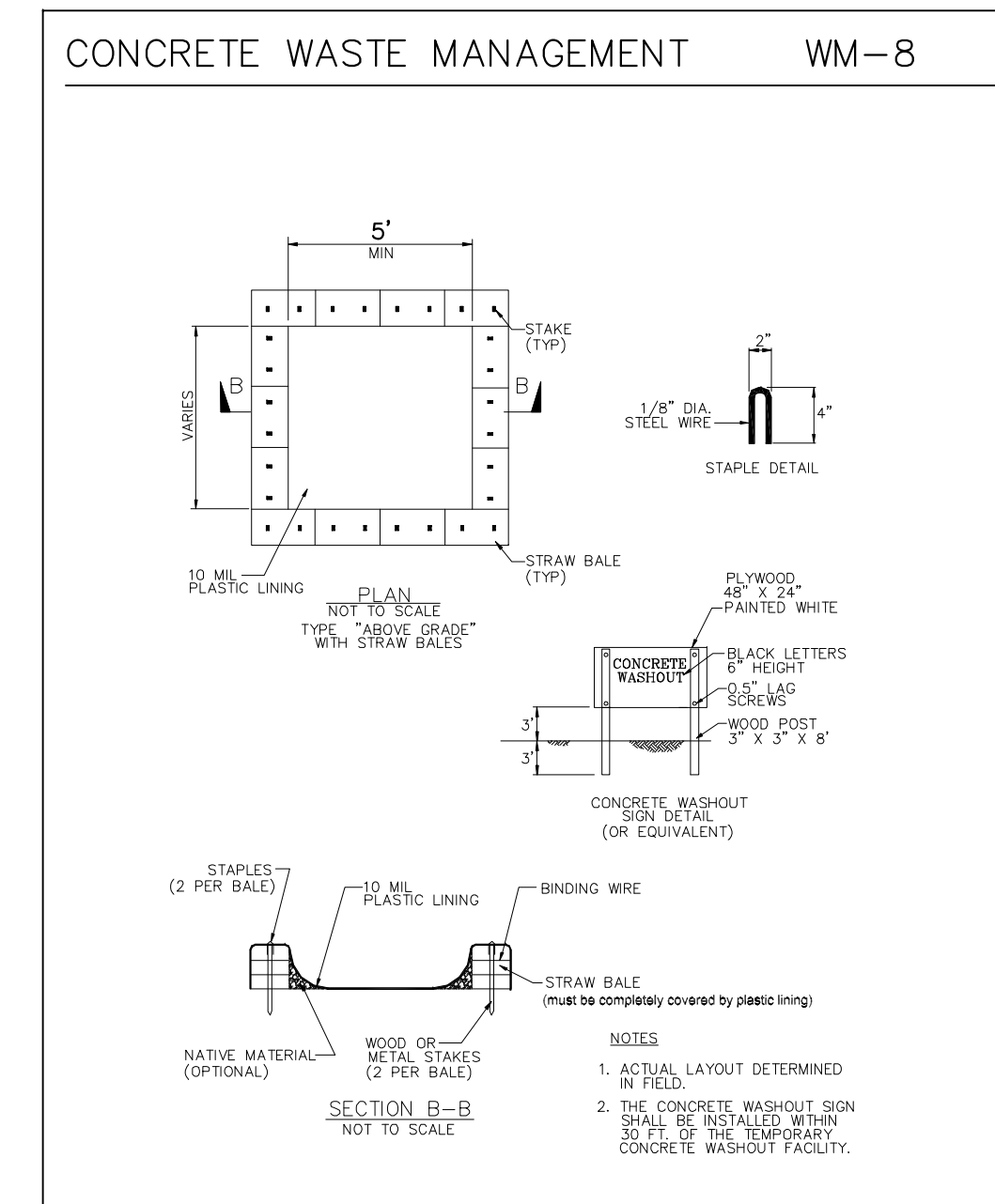
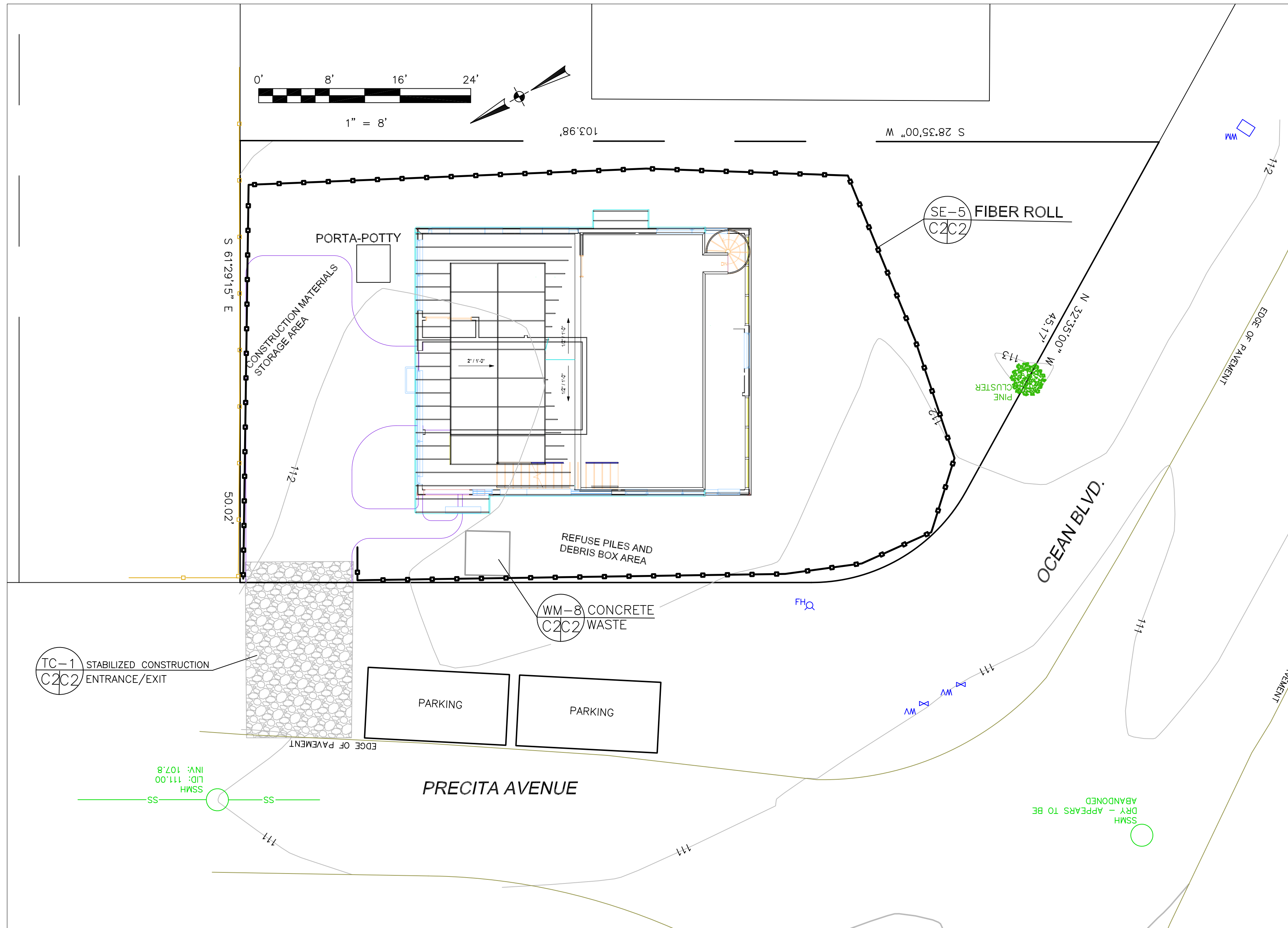
MADWED PROPERTY  
 PRECITA AVENUE  
 MOSS BEACH  
 APN 037-278-010

SHEET  
 C-1

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

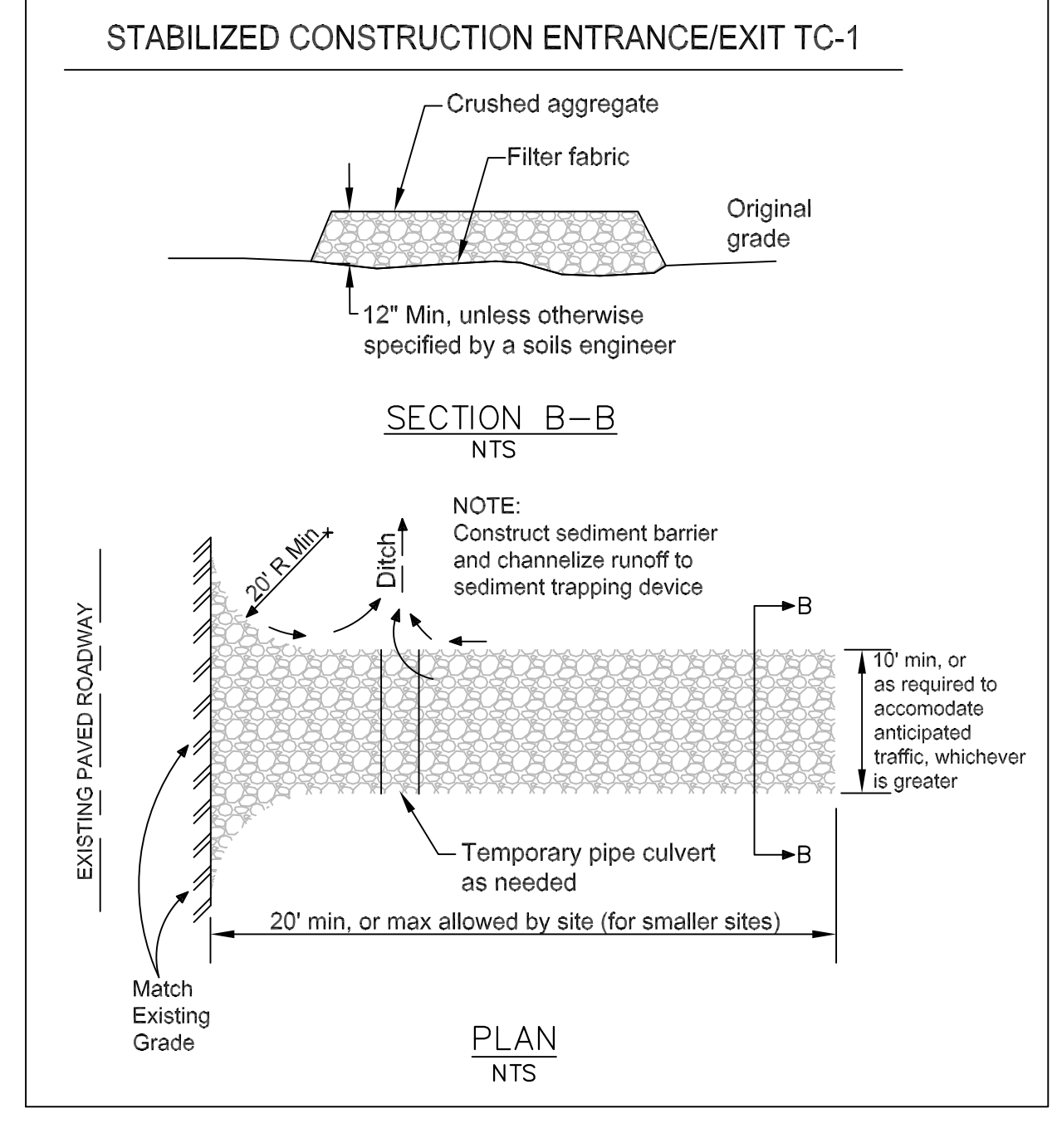
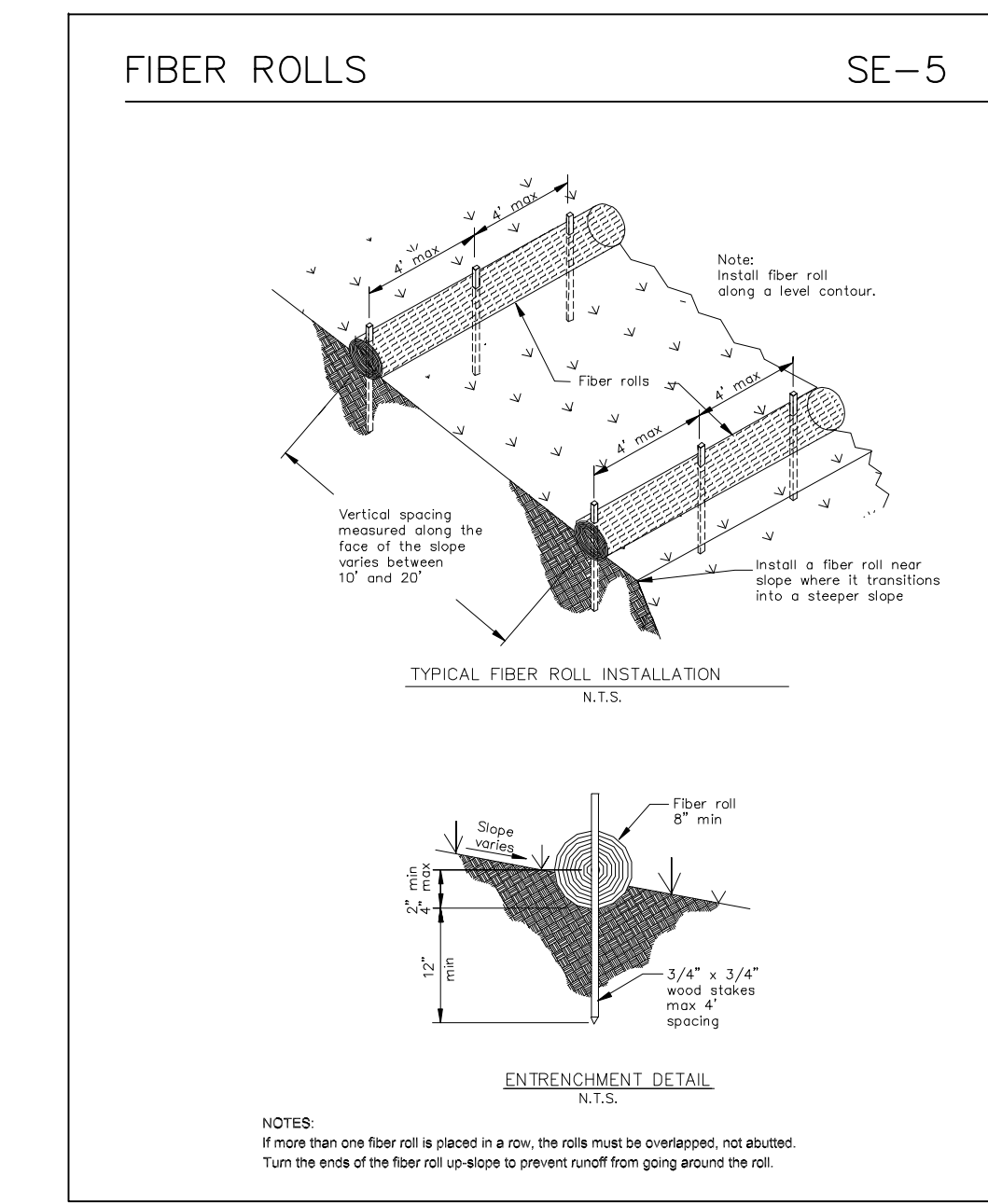
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: DAVID MADWED  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-714-5103  
 PHONE:  
 E-MAIL: DMADWED@GMAIL.COM



**Sigma Prime Geosciences, Inc.**  
 SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3550  
 FAX 728-3593

DATE: 10-28-20  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE:  
 REV. DATE:  
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN  
 MADWED PROPERTY  
 PRECITA AVENUE  
 MOSS BEACH  
 APN 037-278-010

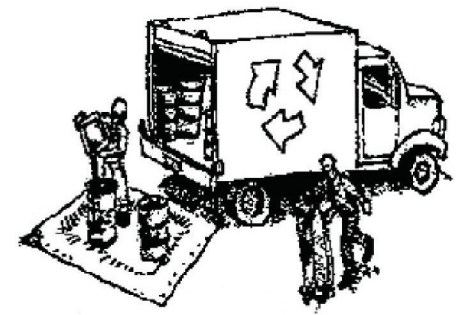
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 C-2



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't oversue) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipes, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



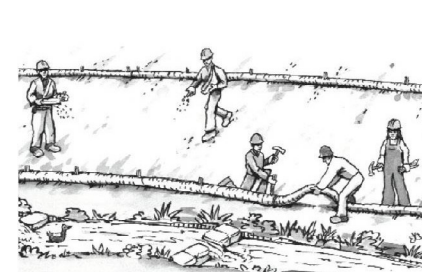
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drip cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



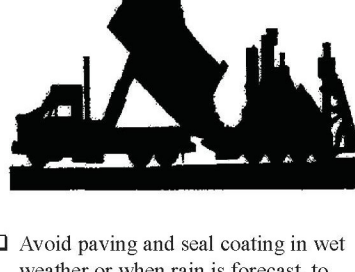
### Schedule grading and excavation work during dry weather.

- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, boms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells.
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



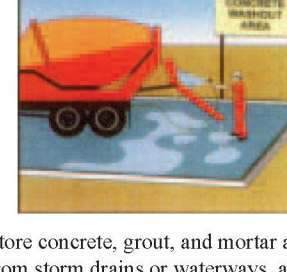
### Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.

- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



### Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.

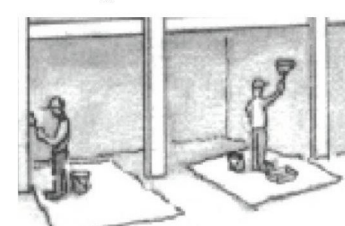
- ❑ Wash out concrete equipment trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

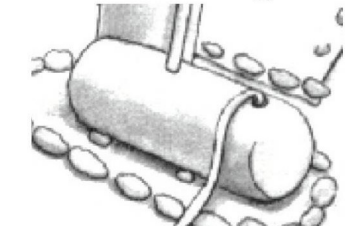
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

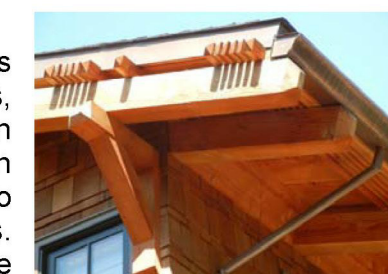


## Requirements for Architectural Copper

Protect water quality during installation, cleaning, treating, and washing!

### Copper from Buildings May Harm Aquatic Life

Copper can harm aquatic life in San Francisco Bay. Water that comes into contact with architectural copper may contribute to impacts, especially during installation, cleaning, treating, or washing. Patination solutions that are used to obtain the desired shade of green or brown typically contain acids. After treatment, when the copper is rinsed to remove these acids, the rinse water is a source of pollutants. Municipalities prohibit discharges to the storm drain of water used in the installation, cleaning, treating and washing of architectural copper.



Building with copper flashing, gutter and drainpipe.

### Use Best Management Practices (BMPs)

The following Best Management Practices (BMPs) must be implemented to prevent prohibited discharges to storm drains.

#### During Installation

- If possible, purchase copper materials that have been pre-patinated at the factory.
- If patination is done on-site, implement one or more of the following BMPs:
  - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
  - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
  - Collect the rinse water in a tank and haul off-site for proper disposal.
- Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.



Storm drain inlet is blocked to prevent prohibited discharge. The water must be pumped and disposed of properly.

#### During Maintenance

Implement the following BMPs during routine maintenance activities, such as power washing the roof, re-patination or re-application of impervious coating:

- Block storm drain inlets as needed to prevent runoff from entering storm drains.
- Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

### Protect the Bay/Ocean and yourself!

If you are responsible for a discharge to the storm drain of non-stormwater generated by installing, cleaning, treating or washing copper architectural features, you are in violation of the municipal stormwater ordinance and may be subject to a fine.



Photo credit: Don Edwards National Wildlife Sanctuary

### Contact Information

The San Mateo Countywide Water Pollution Prevention Program lists municipal stormwater contacts at [www.flowstobay.org](http://www.flowstobay.org) (click on "Business", then "New Development", then "local permitting agency").

FINAL February 29, 2012

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

## REVISIONS

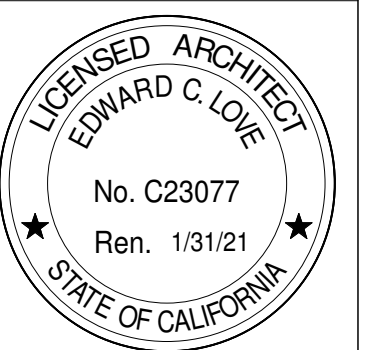


EDWARD C. LOVE, ARCHITECT

Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
edwardclovearch@gmail.com

New Home for  
D Madwed & K Cheplo  
258 Tennyson Ave  
Palo Alto, CA 94301

Best Management  
Practices



DATE: 04/29/2012

SCALE:

DRAWN: GMH

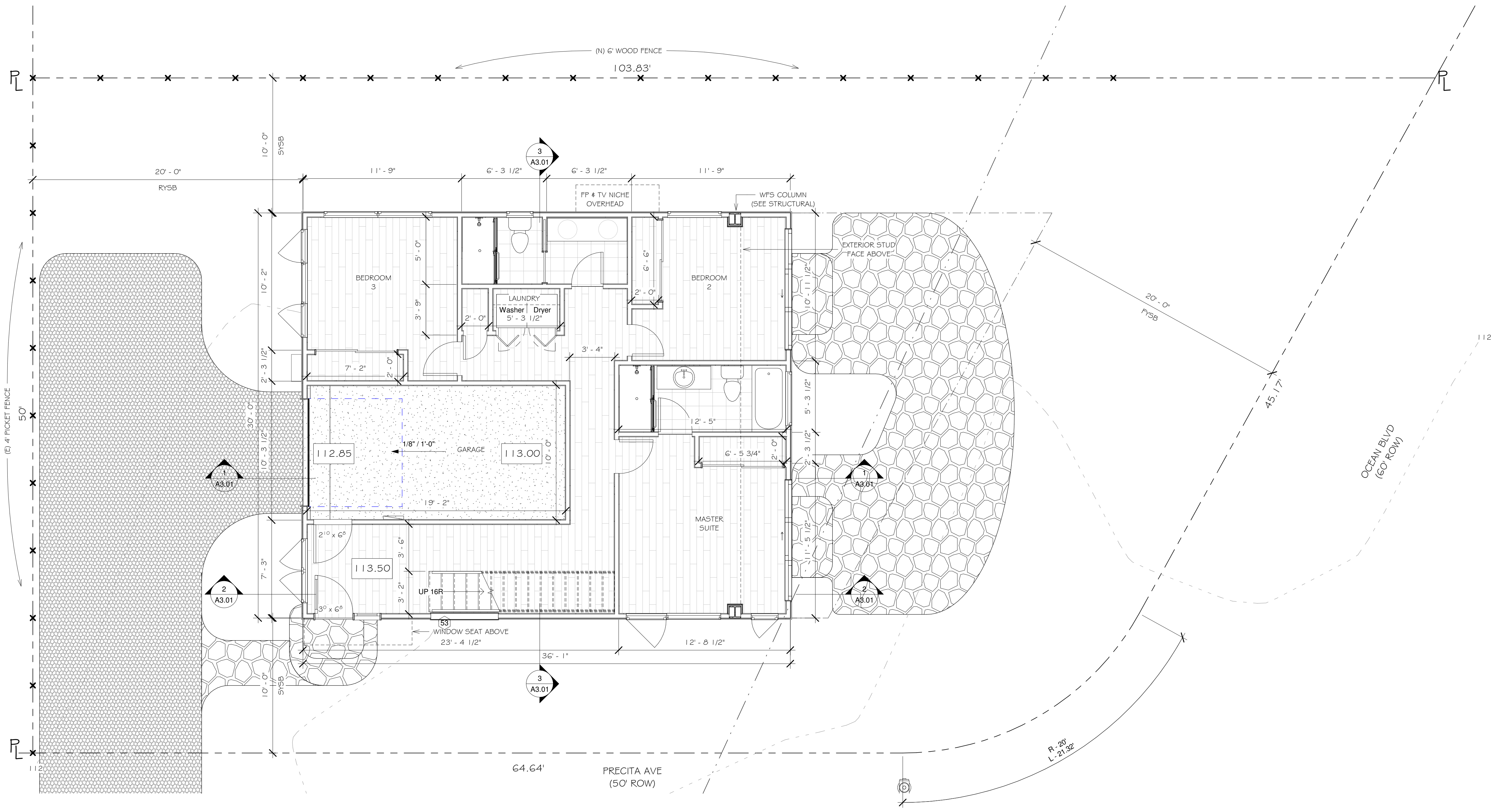
JOB: MADWED-CHEPLO

SHEET:

C.3

OF SHEETS

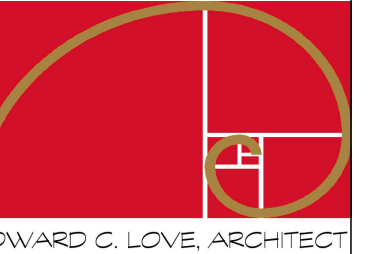
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1 Level 1 - First Floor  
1/4" = 1'-0"



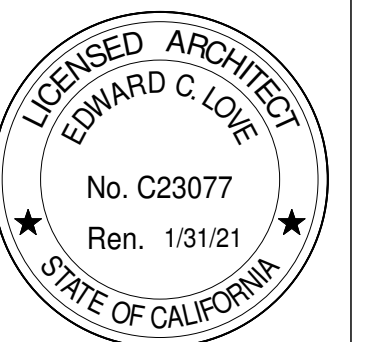
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Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
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Palo Alto, CA 94301

First Floor Plan



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: MADWED-CHEPLO

SHEET:

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OF SHEETS

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REVISIONS

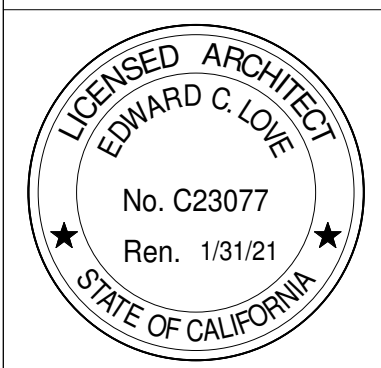


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Palo Alto, CA 94301

Second Floor Plan



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

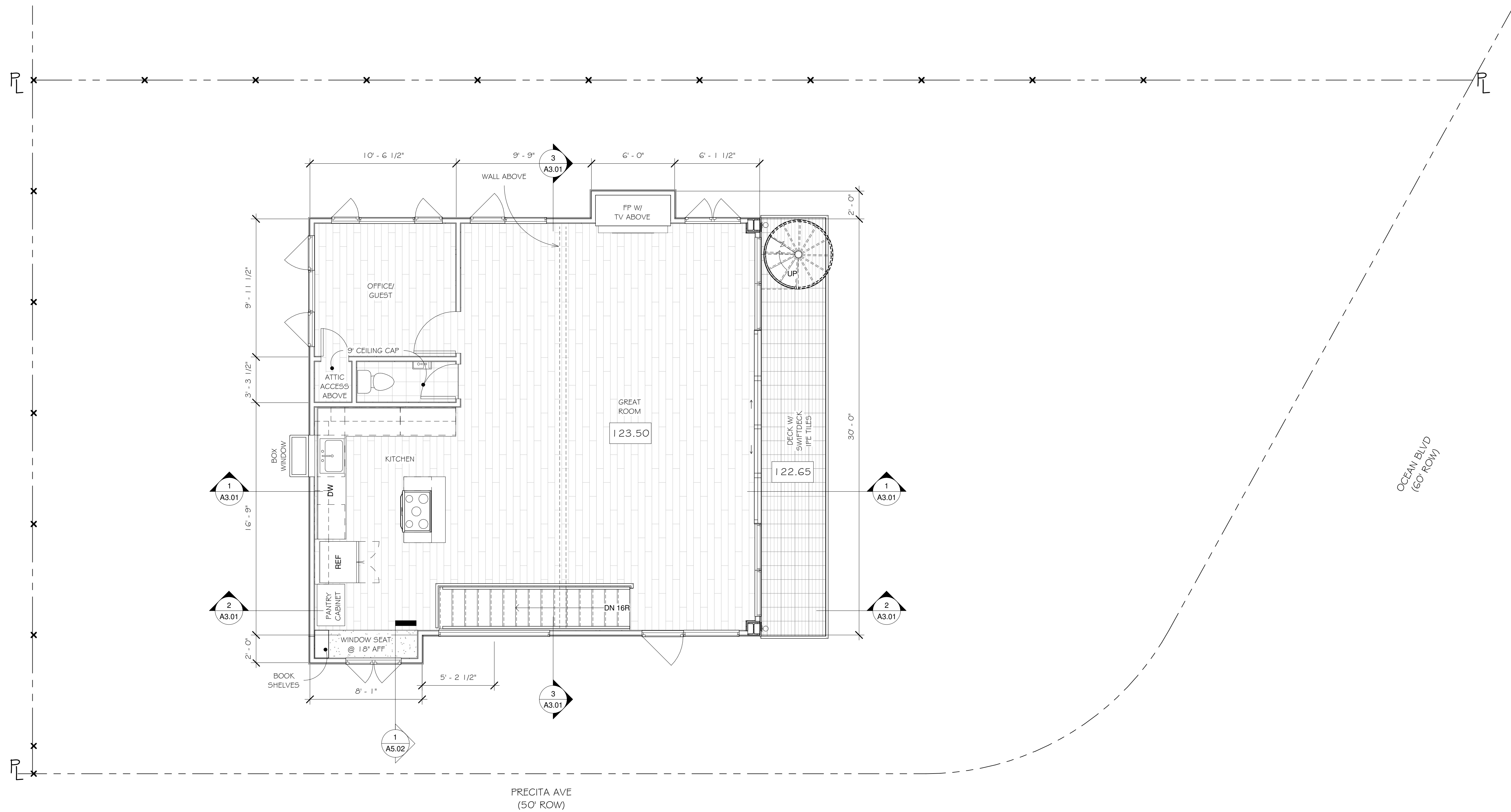
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JOB: MADWED-CHEPLO

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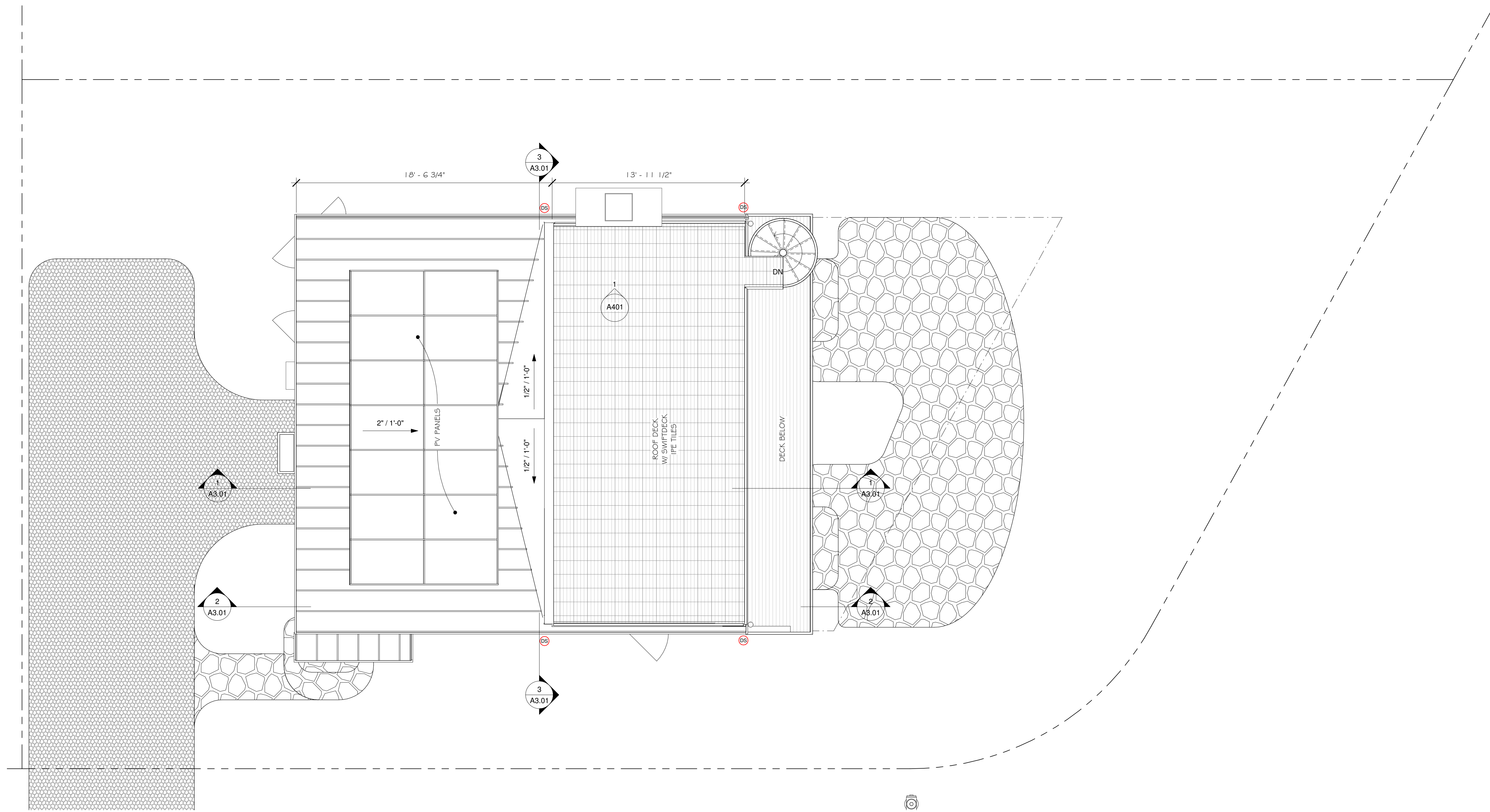
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1 Level 2 - Second Floor  
1/4" = 1'-0"

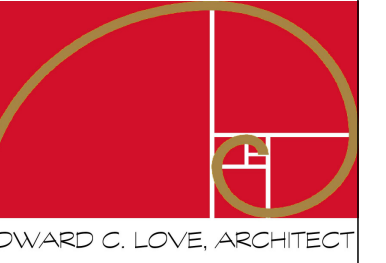


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1 Roof Plan  
1/4" = 1'-0"

REVISIONS

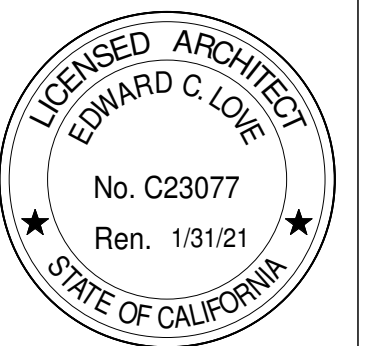


EDWARD C. LOVE, ARCHITECT

Edward C. Love  
Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
(650) 728-7615  
edwardclovearch@gmail.com

New Home for  
D Madwed & K Cheplo  
258 Tennyson Ave  
Palo Alto, CA 94301

Roof Plan



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

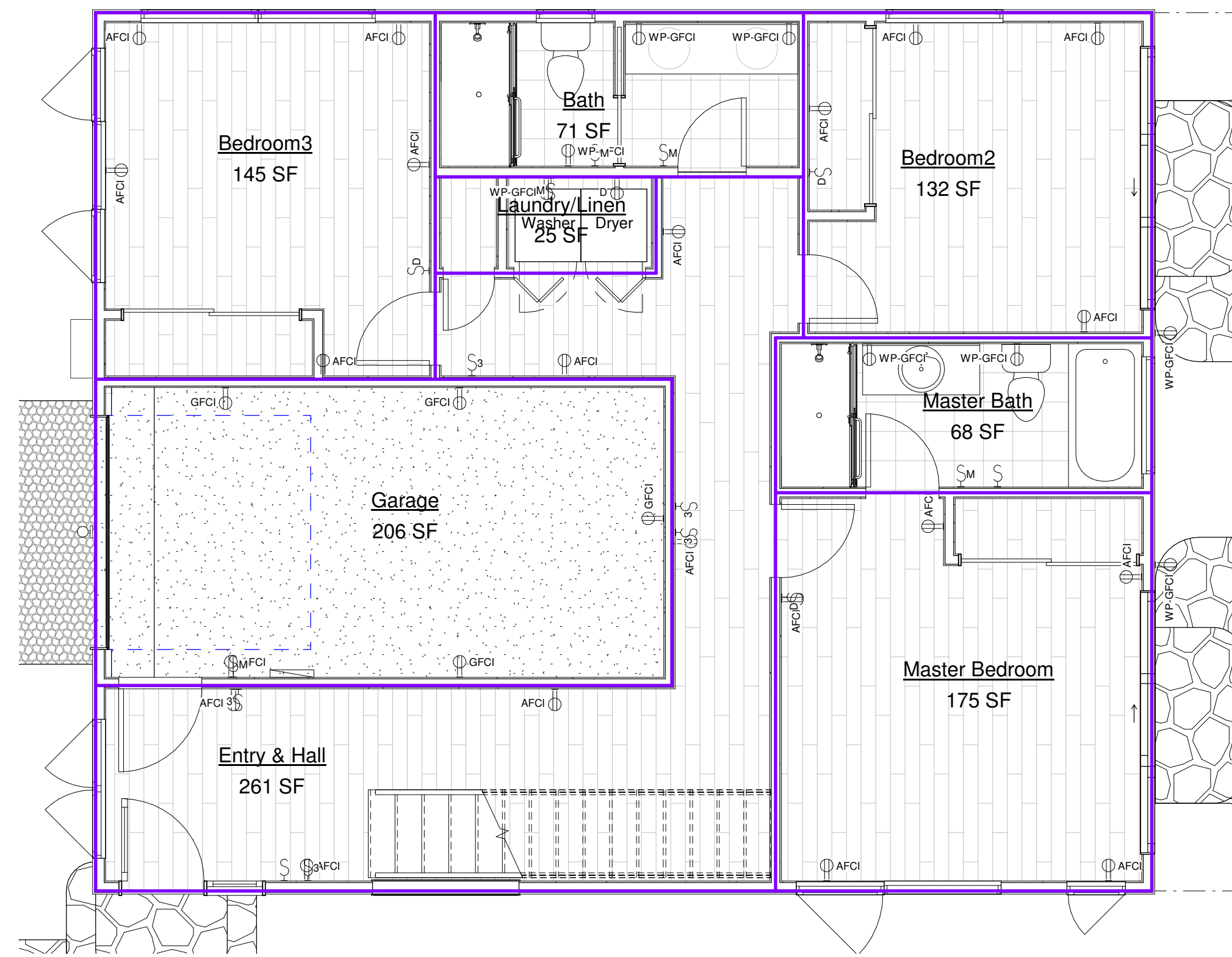
JOB: MADWED-CHEPLO

SHEET:

A1.03

OF SHEETS





1 First Floor Area  
1/4" = 1'-0"

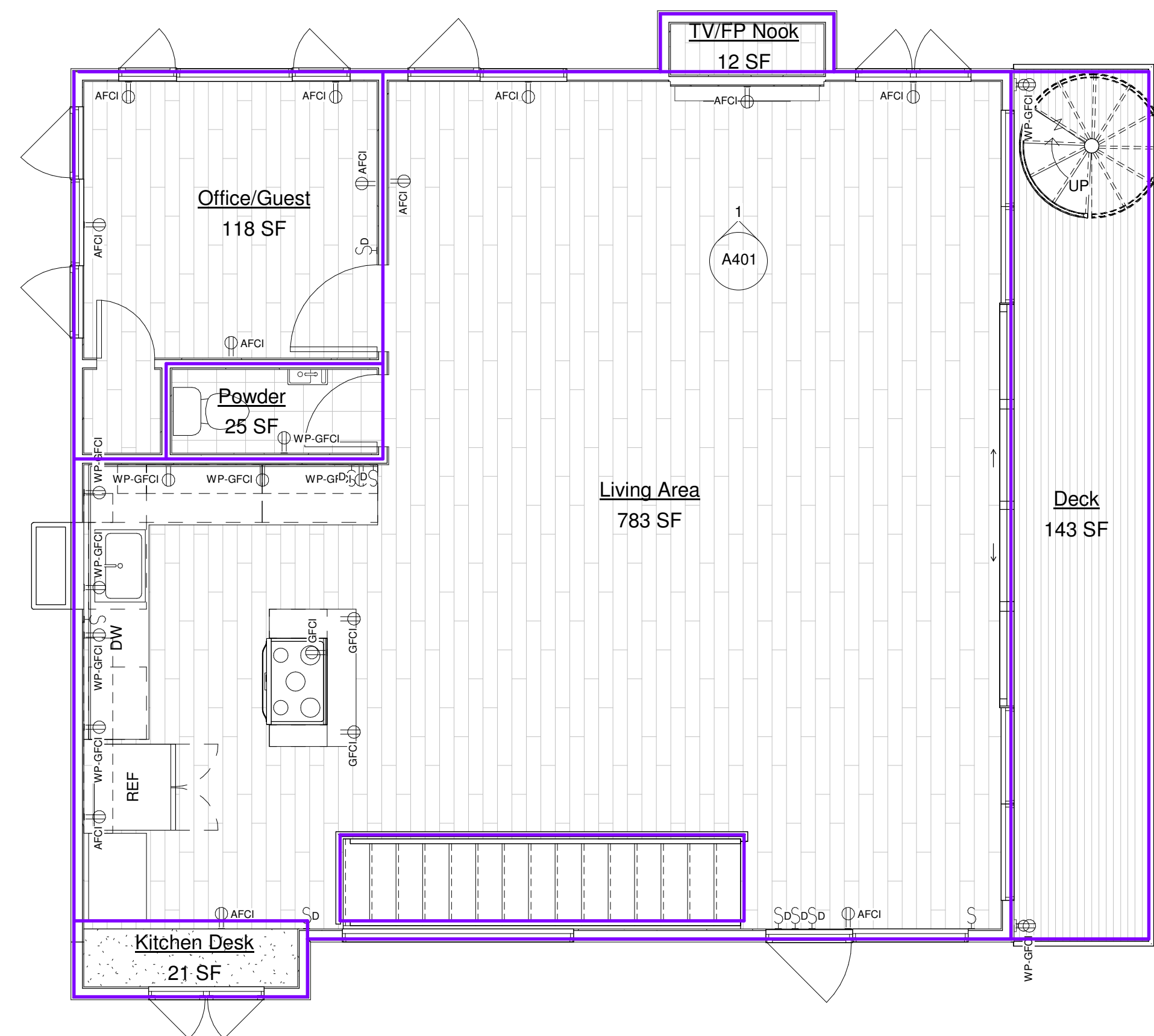
### Area Calcs

Name	Area	Comments
Level 1 - First Floor		
Bath	71 SF	Floor Area/Lot Coverage
Bedroom2	132 SF	Floor Area/Lot Coverage
Bedroom3	145 SF	Floor Area/Lot Coverage
Entry & Hall	261 SF	Floor Area/Lot Coverage
Garage	206 SF	Floor Area/Lot Coverage
Laundry/Linen	28 SF	Floor Area/Lot Coverage
Master Bath	68 SF	Floor Area/Lot Coverage
Master Bedroom	175 SF	Floor Area/Lot Coverage

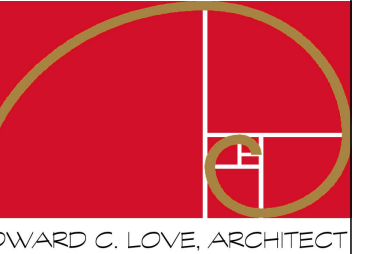
Name	Area	Comments
Level 2 - Second Floor		
Deck	143 SF	Floor Area/Lot Coverage
Kitchen Desk	21 SF	Floor Area/Lot Coverage
Living Area	783 SF	Floor Area
Office/Guest	118 SF	Floor Area
Powder	25 SF	Floor Area
TV/FP Nook	12 SF	Floor Area/Lot Coverage

FLOOR AREA TOTAL : 2041

LOT COVERAGE TOTAL : 1116



2 Second Floor Area  
1/4" = 1'-0"

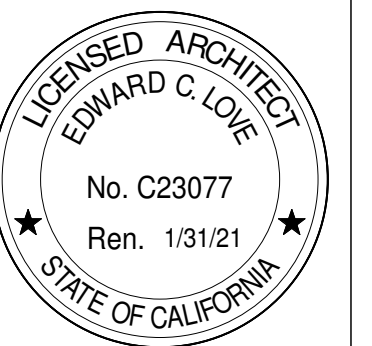


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### Floor Area Calculations



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: MADWED-CHEPLO

SHEET:

A1.04

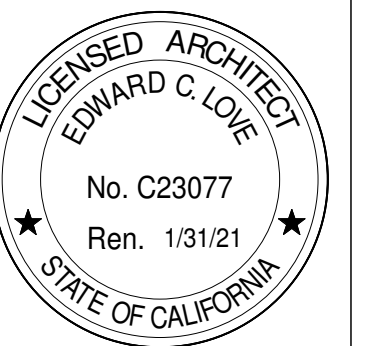
OF SHEETS



Edward C. Love  
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HALF MOON BAY, CA 94019  
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Elevations - West &  
North



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

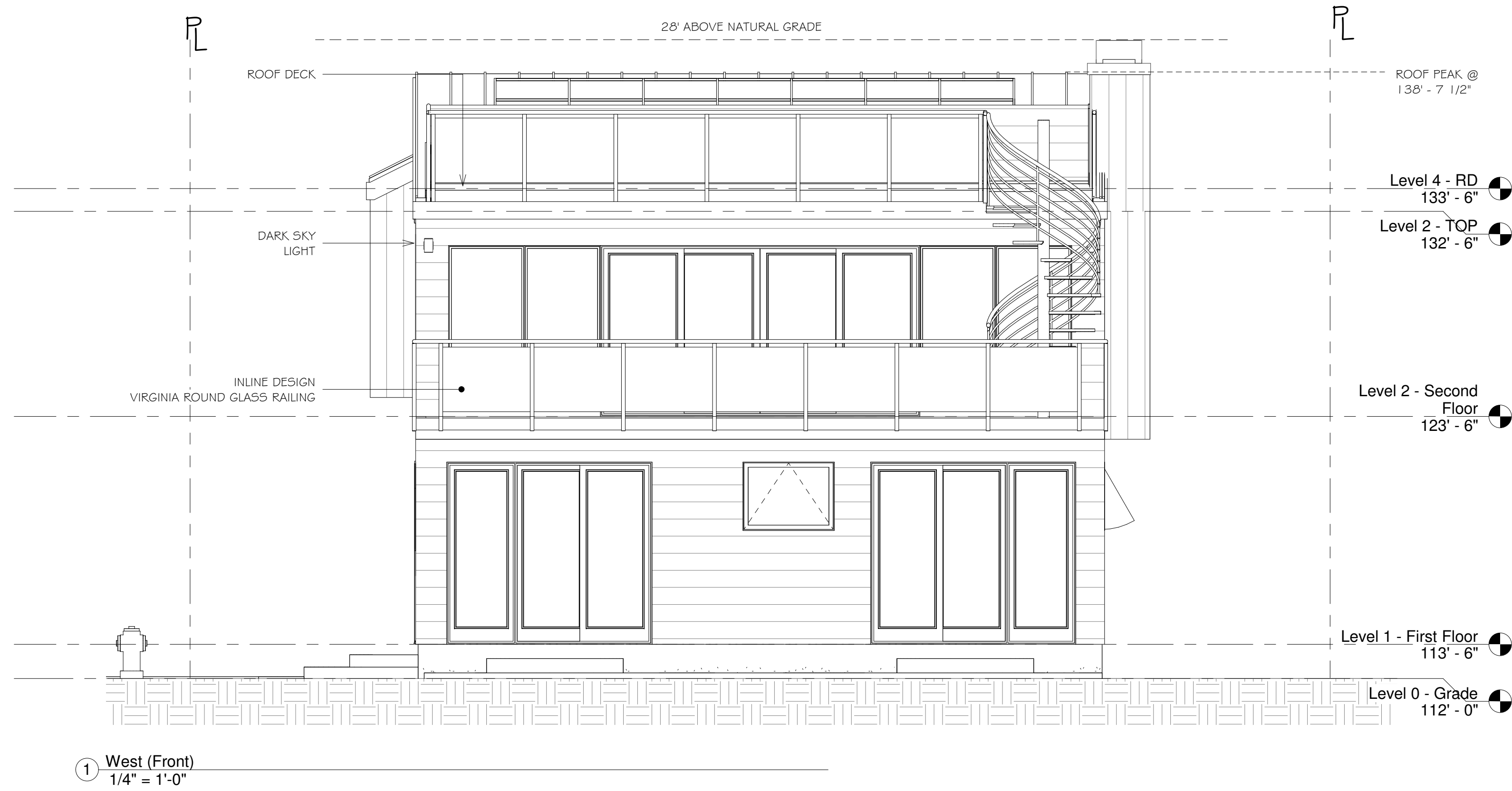
DRAWN: GMH

JOB: MADWED-CHEPLO

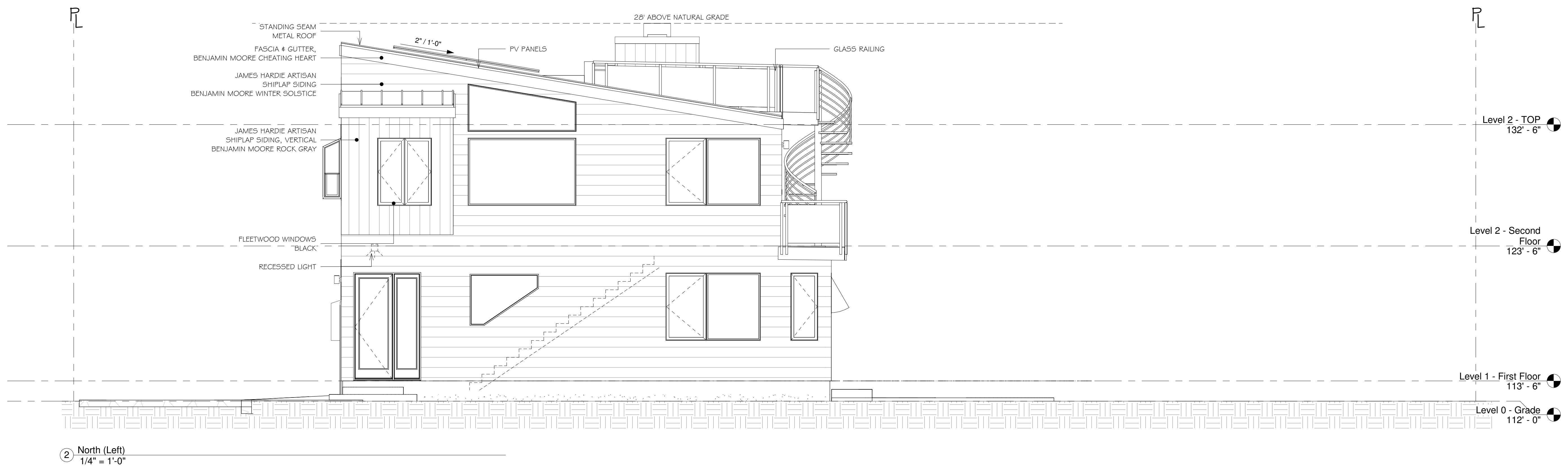
SHEET:

A2.01

OF SHEETS



1 West (Front)  
1/4" = 1'-0"



2 North (Left)  
1/4" = 1'-0"

REVISIONS

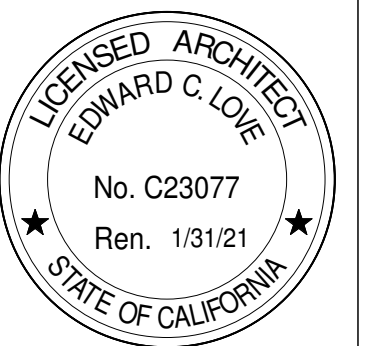


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720 MILL STREET  
HALF MOON BAY, CA 94019  
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Elevations - East &  
South



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: MADWED-CHEPLO

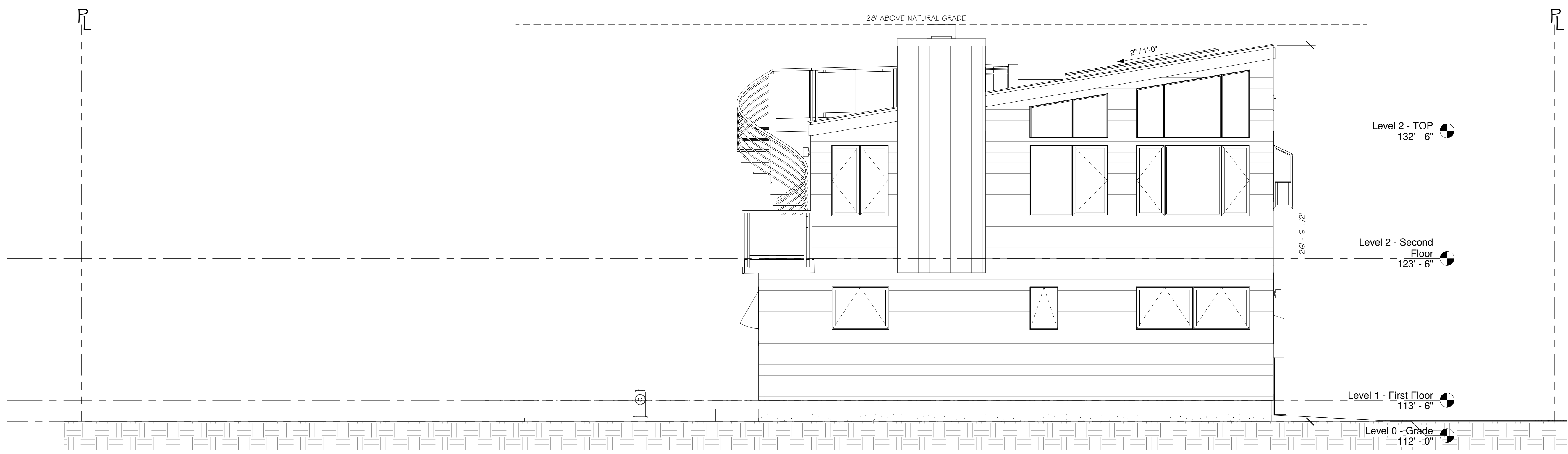
SHEET:

A2.02

OF SHEETS

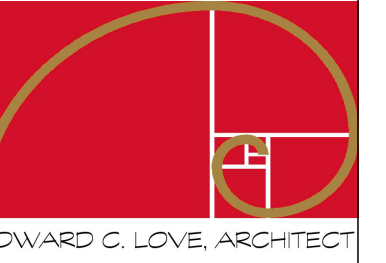


1 East (Rear)  
1/4" = 1'-0"



2 South (Right)  
1/4" = 1'-0"

REVISIONS

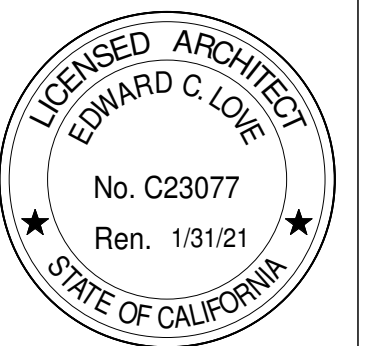


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Architect  
720 MILL STREET  
HALF MOON BAY, CA 94019  
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Section Views



DATE: 04/29/2021

SCALE: 1/4" = 1'-0"

DRAWN: GMH

JOB: MADWED-CHEPLO

SHEET:

A3.01

OF SHEETS



1 Section 1  
1/4" = 1'-0"



2 Section 2  
1/4" = 1'-0"



3 Section 3  
1/4" = 1'-0"

## Behind great Windows

### We thought of everything

- Worry-free vinyl construction that won't corrode and does not need to be painted
- The look of traditional wood windows with even sight lines
- Custom sizes built to your exact specifications with no extra lead time
- Innovative SmartTouch® window and door locks
- Folding, nesting operator handles on awning and casement styles
- Vent stops for added peace of mind when children and pets are present on single hung, double hung and horizontal slider windows
- Pull rail screens that make removing and inserting easier
- Endless combinations of windows, doors, transoms, and sidelites in any array you can imagine
- Multiple frame types allow for use in both new construction and replacement applications

### Installation Configurations



### Exterior Trim Options (for sold separately)



© Milgard.com



## Windows and Doors for the Energy-Conscious Homeowner

At Milgard, we help homeowners make an impact on their energy consumption through our energy-efficient windows and patio doors. Leaky and inefficient windows and doors account for poor insulation and higher energy usage in households. Energy loss can happen in two ways and a lot depends on where you live:

- Cold climates lose energy in the form of heat
- Hot climates lose energy in the form of cooling

### Tested and Built for Your Climate

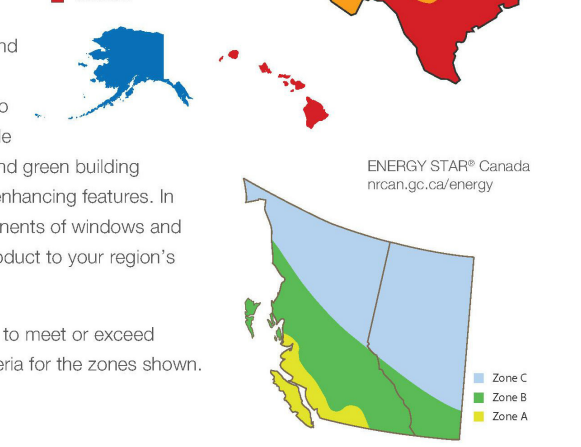
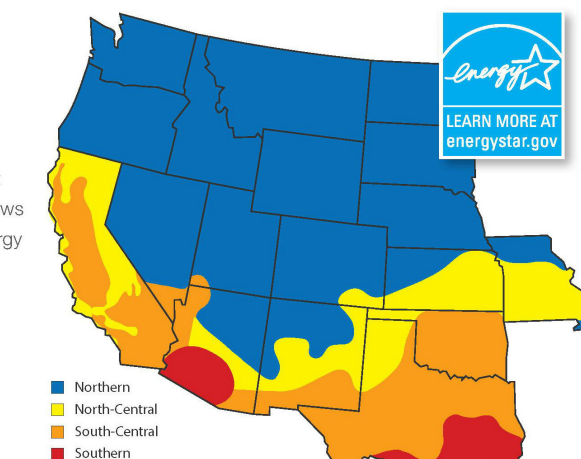
All Milgard windows and patio doors are designed to meet tough thermal and solar requirements of state and local jurisdictions. We conduct thermal simulations to improve energy performance in our windows and patio doors so our consumers can enjoy a more comfortable home. We make it easy to meet local energy codes and green building efficiency standards with a selection of performance enhancing features. In fact, Milgard has options available to tailor the components of windows and doors to specific climates—perfectly matching the product to your region's energy needs.

Milgard adheres to ENERGY STAR® v6 requirements to meet or exceed U-Factor and Solar Heat Gain Coefficient (SHGC) criteria for the zones shown.

Milgard also offers high energy performance options for the ultimate in energy efficiency.

Zone	U-Factor	SHGC	Your energy efficient windows could include one or more of the following heat loss based on your climate.
ENERGY STAR v6 Northern	0.27	—	SunCoat® or SunCoatMax®
ENERGY STAR v6 North-Central	0.3	0.4	EdgeSeal iMAX™
ENERGY STAR v6 South-Central	0.3	0.35	Argon or Krypton
ENERGY STAR v6 Southern	0.4	0.35	4th Glazing Triple Glaze
IG	0.20	—	—

## Built for Performance



© Milgard.com



### Product Overview

The outdoor LED wall lantern is uniquely designed with a contemporary feel. Its durable aluminum construction with hand painted black finish and frosted glass gives a sophisticated look.

This uniquely designed fixture is the choice of discriminating yet value conscious homeowners who want to enrich their home.

Darksky certified  
Light color is 3000K (bright white)  
360 Lumens  
80 CRI and uses only 5.5-Watt

### Specifications

Dimensions		Product Depth (in.)	5.91	Product Height (in.)	8.01
		Product Length (in.)	8.01	Product Width (in.)	4.49
Details		Actual Color Temperature (K)	3000	Color Rendering Index	80
		Color Temperature	Bright White		
Exterior Lighting Product Type		Cylinder Lights		Fixture Color/Finish	Black
		Fixture Material	Aluminum	Glass/Lens Type	Frosted
Light Bulb Type Included		Integrated LED		Light Output (lumens)	360
Maximum Wattage (watts)		0		Number of Bulbs Required	0
Watt Equivalence		60			
Outdoor Lighting Features		Dark Sky, Weather Resistant, Weather Resistant			
Power Type		Hardwired			
Product Weight (lb.)		2.29lb			
Style		Modern			

## Amarr Vista V11000 Contemporary Aluminum Full View Garage Doors



It's the perfect reflection of your style. The modern industrial look goes residential with the introduction of the Amarr Vista collection. From the outside, these sleek doors perfectly mirror the clean lines and glass expanses of your home's contemporary design. Inside, they transform your garage into a bright and inviting room.



PANEL CONFIGURATION	8' x 7' - 1 Panel	10' x 7' - 2 Panels	12' x 7' - 3 Panels	14' x 7' - 4 Panels
CLEAR	•	•	•	•
SHROUD	•	•	•	•
SHROUD TINT	•	•	•	•
BRONZE TINT	•	•	•	•
GRAY TINT	•	•	•	•
SMOKE TINT	•	•	•	•
FRONT	•	•	•	•
SHROUD	•	•	•	•
W/SHROUD	•	•	•	•
BLACK/SHROUD	•	•	•	•



## Amarr Vista

**Construction**

An Amarr Vista V11000 full view door offers strength and beauty to match the elegant design of your home.

- 2" thick extruded commercial-grade aluminum frame provides durability, low maintenance and corrosion resistance
- Tongue and groove section joint with new leading edge gasket seal and the bottom weather seal improve air and water infiltration performance.
- ClearView Aluminum® tint system does not restrict viewing area and adds strength and durability to doors 10' to 14' wide
- Wind load options to meet local building codes
- Attractive, modern exterior handles (2) included
- Available in 1" width increments up to 24"

**Specifications**

**Amarr**

**FRAME CONSTRUCTION** 2" Box Section

**SECTION HEIGHTS** 12' max, 14' or 16' with high doors

**WIND LOAD AVAILABLE** 15 mph

**WARRANTY** 5 Years

**MAINTENANCE** 5 Years

**Glass**

Amarr Vista V11000 is available in a variety of glass options.

**Optional Panels**

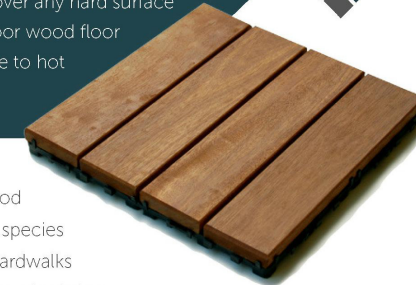
Amarr Vista V11000 is available with optional panels.

**Glazing Options**

GLAZING OPTION	SMALL PANEL		TANDARD		LARGE		HORIZONTAL		VERTICAL	
	12' x 7'	14' x 7'	12' x 7'	14' x 7'	12' x 7'	14' x 7'	12' x 7'	14' x 7'	12' x 7'	14' x 7'
CLEAR	•	•	•	•	•	•	•	•	•	•
SHROUD	•	•	•	•	•	•	•	•	•	•
SHROUD TINT	•	•	•	•	•	•	•	•	•	•
BRONZE TINT	•	•	•	•	•	•	•	•	•	•
GRAY TINT	•	•	•	•	•	•	•	•	•	•
SMOKE TINT	•	•	•	•	•	•	•	•	•	•
FRONT	•	•	•	•	•	•	•	•	•	•
SHROUD	•	•	•	•	•	•	•	•	•	•
W/SHROUD	•	•	•	•	•	•	•	•	•	•
BLACK/SHROUD	•	•	•	•	•	•	•	•	•	•

## SWIFTDECK INTERLOCKING WOOD TILES

SwiftDeck interlocking wood deck tiles simply clip together over any hard surface such as concrete or existing wood decks, for an instant outdoor wood floor that not only looks great and wears well, but survives exposure to hot sun, rain, snow and ice for many years to come.



SwiftDeck deck tiles are exclusively constructed from Ipe wood which is widely recognized as one of the most durable wood species available. It is extensively used for commercial decking and boardwalks because of its exceptional hardness, durability, stability in terms of twisting and warping and its low maintenance requirements.

### PROPERTIES OF IPE WOOD

- Botanical name - Tabebuia sp.
- Reddish brown to olive brown
- Exceptionally hard and dense (Janka 3680)
- Eight times harder than Californian Redwood
- Highly resistant to termites, decay and mold
- 3-5 times the life time of other decking (25+ years)
- Resistant to fire (rated Class A by NFPA)
- Weathers to a soft silvery grey, smooth and splinter free

### SIZES & STYLES

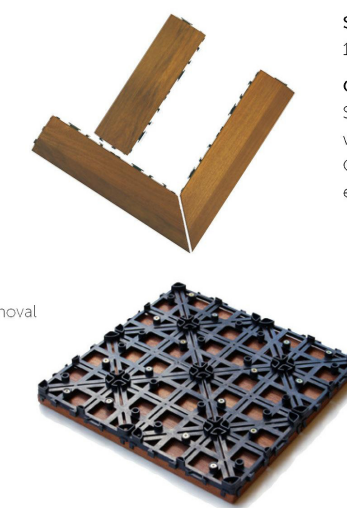


Tile size (covered area)	12' x 12'	24' x 12'
Tile height (incl. base)	1 1/4"	1 1/4"
Base height	9/16"	9/16"
Slat Thickness	11/16"	11/16"
Tile Weight	34 lbs	6.8 lbs
Packing	12 tiles per carton	6 tiles per carton
Carton Weight	43 lbs	43 lbs

Archatrak Inc. 2 Woodcrest Circle, Suite 700 Chevy Chase MD 20815 Tel: 866.206.8336 sales@archatrak.com www.archatrak.com

### EDGE TRANSITION PIECES

- Clip to the edge of the outer row of tiles
- Provide a sloping transition to the sub surface
- Hide the side view of the plastic base
- Gap under front lip ensures water drains away freely



### INTERLOCKING BASE

- Symmetrical design enables easy installation and removal
- In-built interlocking tabs on all 4 sides
- Stainless steel screws attach base to wood slats
- Engineered to support over one ton of weight
- UV stabilized polyethylene

### INSTALLATION

- SwiftDeck deck tiles require no nails, screws, adhesives or special fittings. A hand saw or jigsaw may be required if tiles need to be cut to fit around posts or pipes or to trim the outer row of tiles in confined areas.
- To fit around pipes, posts or corners, cut to fit using a jigsaw or hand saw, sawing through both the wood slats and plastic base. Take care to avoid the screws in the base.
- If installing the tiles in an area confined by walls on opposite sides, it's important that a small gap is left against the wall to allow for expansion of the tiles which occurs not only due to temperature changes but also due to expansion of the wood when it absorbs moisture.
- When cutting irregular shapes, it is best to first make a template from a piece of stiff paper or cardboard. Make sure that cut slats remain securely attached to the plastic base with at least 2 screws. Extra screws may be inserted if any slats appear loose. (Blank screw holes are molded in the plastic base for this purpose)
- Place a single tile in one corner of the area to be covered
- Taking a second tile, align the plastic connecting tabs on the outside edges of the tiles to be joined and push down firmly on the second tile close to the connection point. This will engage the tabs and lock the tiles together.
- Continue this process, adding tiles in both directions until the area is covered, ensuring each tile is securely locked to the neighboring tile.
- Different patterns can be achieved by joining tiles so that the wood slats of adjacent tiles are aligned in different directions.

### MAINTENANCE

- SwiftDeck tiles are supplied in prefinished form with a factory coating of protective oil applied to all wood surfaces. Whilst this provides some initial protection from the effects of UV and exterior elements, in exposed exterior conditions the wood slats will gradually fade to a soft grey color.
- Regular application of a good quality decking oil will assist in slowing this aging process and help to preserve the original appearance of the timber. Decking oil should always be applied as soon as possible after installation followed by applications every 6-12 months or as often as needed.

Archatrak Inc. 2 Woodcrest Circle, Suite 700 Chevy Chase MD 20815 Tel: 866.206.8336 sales@archatrak.com www.archatrak.com

## REVISIONS

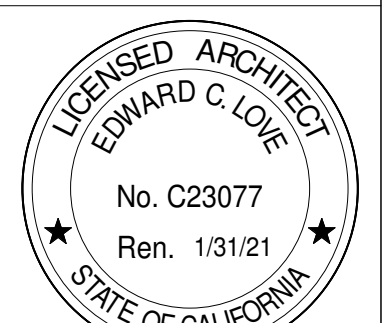


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Palo Alto, CA 94301

## Details - Products



DATE: 04/29/2021

SCALE:

DRAWN: Author

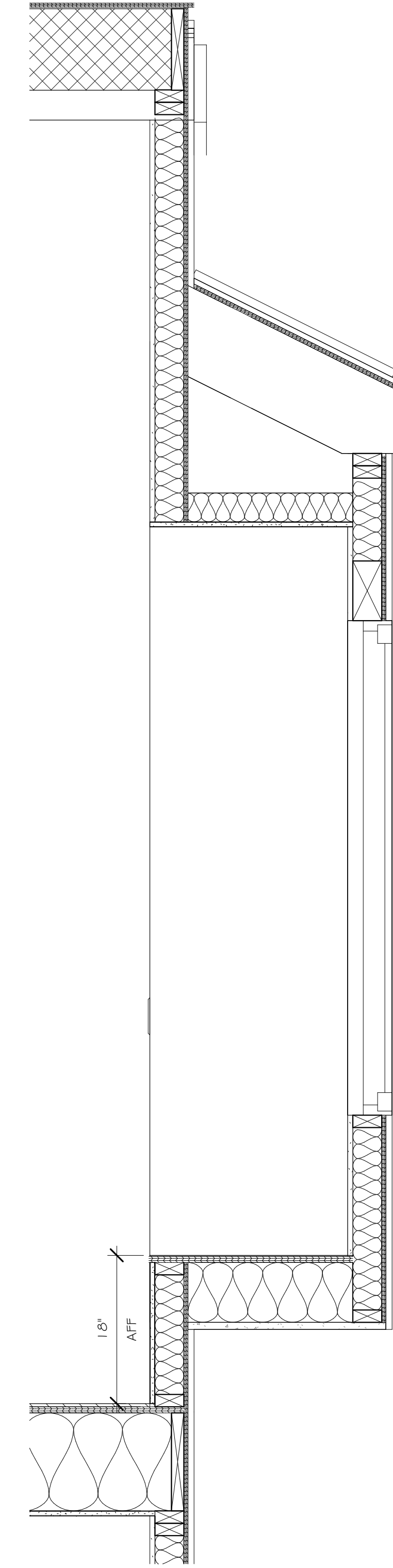
JOB: MADWED-CHEPLO

SHEET:

A5.01

OF SHEETS

S:\Client Projects 2020\Madwed-Cheplo\Revit\MadwedCheplo.rvt



① Detail - Window Seat @ Kitchen  
1" = 1'-0"

REVISIONS

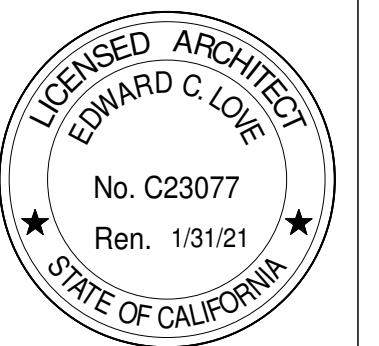


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Details



DATE: 04/29/2021

SCALE: 1" = 1'-0"

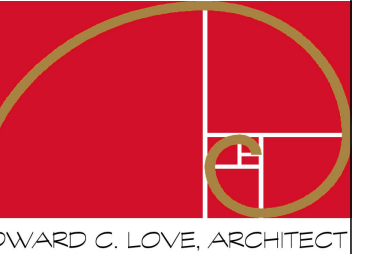
DRAWN: GMH

JOB: MADWED-CHEPLO

SHEET:

A5.02

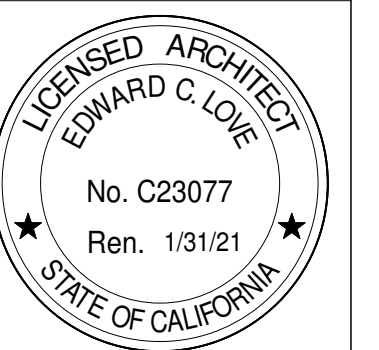
OF SHEETS



**Edward C. Love**  
 Architect  
 720 MILL STREET  
 HALF MOON BAY, CA 94019  
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 Palo Alto, CA 94301

Landscape Plan



DATE: 04/29/2021  
 SCALE: 1/4" = 1'-0"  
 DRAWN: GMH  
 JOB: MADWED-CHEPLO  
 SHEET:

LP.

OF SHEETS

MWEO APPLICANT: JERRY ALAN WHITING  
 FLORA FARM  
 340 PURISSIMA ST  
 HALF MOON BAY, CA 94019  
 LIC #549103  
 650.678.5801  
 florafarmhmb@yahoo.com

THIS PROJECT INCORPORATES LANDSCAPING EQUAL TO OR LESS THAN 2500 SQFT AND WILL BE USING THIS FORM TO IDENTIFY PRESCRIPTIVE REQUIREMENTS WHICH WILL BE INCLUDED AS PART OF THE LANDSCAPE PROJECT.

TOTAL LANDSCAPE AREA : 1890 SQFT  
 SPECIAL LANDSCAPE AREA : N/A  
 WATER TYPE : POTABLE  
 WATER PURVEYOR : MWSB

SIGNATURE :

ALL PLANTINGS TO BE HAND WATERED  
 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEO) SHORT FORM  
 PRESCRIPTIVE COMPLIANCE

PLANT LIST

NAME	COMMON NAME	QTY/SIZE	WI	TYPE
METROSIDEROS EXCECSA	NEW ZEALAND XMAS TREE	4 - 15 GAL	L	TREE
JUNIPERUS TORULOSA	HOLLYWOOD JUNIPER	1 - 15 GAL	L	TREE
CISTUS PURPUREUS	ORCHID ROCKFOSE	14 - 1 GAL	L	SHRUB
JUNIPERUS PFITRERIANA	PFITZER JUNIPER	6 - 5 GAL	L	SHRUB
ECHIUM FASTUOSUM	PRIDE OF MADERIA	2 - 5 GAL	L	SHRUB
SALVIA CLEVELANDII	CLEVELAND SALVIA	7 - 1 GAL	L	PERENNIAL/SHRUB
BACCHARIS PILULARIS	DWARF COYOTE BUSH	33 - 1 GAL	L	GROUND COVER
CENTRANTHUS RUBER	RED VALARIAN	6 - 1 GAL	L	PERENNIAL
LYCHNIS CORONARIS	ROSE CHAMPIAN	5 - 1 GAL	L	PERENNIAL

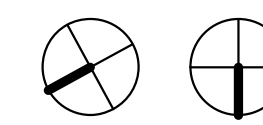
TOTAL PLANTS :  
 5 - 15 GAL  
 8 - 5 GAL  
 65 - 1 GAL

PLANTING NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST 4 CUFT PER 1,000 SQFT TO A DEPTH OF 6" INTO LANDSCAPE AREA
  - A MINIMUM OF A 3" LAYER OF MULCH SHOULD BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF CREEPING GROUND COVER OR TURF
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWEO PER APPENDIX D

SIGNATURE :

DATE : 10/25/2020



TRUE NORTH PROJECT NORTH



**NOTE:**  
 TOTAL IMPERMEABLE AREA BELOW 16" ABOVE GRADE  
 CANNOT EXCEED 10% OF LOT AREA OR 448 SQFT

1 Landscape Plan  
 1/4" = 1'-0"



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**



Hearing Date: August 12, 2021

**CDRC Findings for letter of approval for PLN2020-00392**

Owner: David Madwed

Applicant: Ed Love

FileNo: **PLN2020-00392**

Location: East Corner of Precita Avenue and Ocean Boulevard, Moss Beach

APN.: 037-278-010

Status: Recommendation for approval

**Description:**

Consideration of a Design Review recommendation to allow the construction of a new 1,836 sq. ft., 2-story single-family residence with an attached 206 sq. ft. 1-car garage, on an existing 4,484 sq. ft. undeveloped legal parcel (parcel legality via Merger), associated with a hearing-level Coastal Development Permit (CDP), Non-Conforming Use Permit (UP), and Off-Street Parking Exception (OSP). A Non-Conforming Use Permit and Off-Street Parking Exception are required because the lot size is under 5,000 sq. ft. where 20,000 sq. ft. is the minimum size and one covered parking space is being provided where two are required, respectively. The project involves the removal of 2 significant trees and only minor grading. The CDRC will not render a decision but will make a recommendation regarding the project's compliance with design review standards.

**Findings:**

The design meets the following standards:

Section 6565.20 (D) ELEMENTS OF DESIGN; 4. Exterior Materials and Colors; a. Compatibility; Standards: The home features muted exterior colors and materials, that complement the style of the neighborhood, reduce the apparent mass of the structure, and are consistent with the style of the home and surrounding homes.

Section 6565.20 (A)2.a. Privacy: The rooftop deck is designed to avoid direct views into neighboring houses and outdoor decks/patios, accessed by interior means, and integrated into the roof design.

Section 6565.20 (D) ELEMENTS OF DESIGN; 2.d. Architectural Style-garages (I) The design avoids making the garage the dominant feature as seen from the street.

**Conditions:**

-Add bay window at office / guest, centered above windows below, with accent siding, to better meet Section 6565.20 (D) ELEMENTS OF DESIGN; e. wall articulation standards.

-Coordinate drawings and application forms with regard to window specification as Fleetwood brand, black finish.

-Coordinate elevations and renderings to indicate one triangular window at stair, left edge aligned with windows above

-Clarify and coordinate drawings to show no fence at property line

-Extend gravel to provide additional area for parking – relocate plants closer to property line to provide screening for neighbor

-Add one dark sky compliant exterior light at each rear/West patio door

**Suggestions:**

-Add Eyebrow roof or trellis over garage door; incorporate downlight into roof

-Change one shrub to 1-2 New Zealand Christmas trees, or plantings equivalent size, opposite bedroom 2 window, to provide screening adjacent to neighbor's house